

**SCHEDULE 1B: PUBLICITY AND CONSULTATION BEFORE APPLYING FOR PLANNING
PERMISSION**

NOTICE UNDER ARTICLES 2C AND 2D

Town & Country Planning (Development Management Procedure) (Wales) Order 2012

Notice is given that Mavi Royal Ltd. are intending to apply for Full Planning Permission for
Conversion & Extension of part of hotel to form 12 no. Residential Apartments
– The Royal Hotel, Llangollen. LL20 8PG.

This Notice gives the opportunity to comment directly to the Developers on the scheme prior to the formal submission of the Planning Application to Denbighshire County Council Planning Department. Any subsequent planning application will be publicised by the relevant LPA; any comments provided in response to this notice will not prejudice your ability to make representations to the LPA on any related planning application. You should note that any comments submitted may be placed on the public file.

Anyone who wishes to make any comments about this proposed.
development must write to us at:

Tŷ Architecture 15a Clwyd Street, Ruthin. LL15 1HF
or by email to info@tyarchitecture.co.uk
by the 10th of April 2024

**ATODLEN 1B: CYHOEDDUSRWYDD AC YMGHYNGHORI CYN GWNEUD CAIS AM GANIATÂD
CYNLLUNIO**

HYSBYSIAD O DAN ERTHYGLAU 2C AND 2D

Gorchymyn Cynllunio Gwlad a Thref (Gweithdrefn Rheoli Datblygu) (Cymru)2012

**Rhoddir rhybudd bod Mavi Royal Cyf. yn bwriadu gwneud cais am
Ganiatad Cynllunio Llawn ar gyfer trosi ac ymestyn rhan o westy i
ffurfio 12 o fflatiau preswyl
– Gwesty The Royal Hotel, Llangollen. LL20 8PG.**

Mae'r hysbysiad hwn yn rhoi cyfle i wneud sylwadau yn uniongyrchol i'r datblygwr
ynghlŷn â datblygiad arfaethedig cyn cyflwyno cais am ganiatâd cynllunio i'r
awdurdod cynllunio lleol (ACLI). Bydd unrhyw gais cynllunio dilynol yn cael ei
hysbysebu gan yr ACLI perthnasol; ni fydd unrhyw sylwadau a ddarperir gennych
wrth ymateb i'r hysbysiad hwn yn lleihau dim ar eich gallu i gyflwyno sylwadau i'r
ACLI ar unrhyw gais cynllunio cysylltiedig. Dylech nodi y gellir gosod unrhyw
sylwadau â gyflwynir gennych yn y ffeil gyhoeddus.

Mae'n rhaid i unrhyw un sy'n dymuno gwneud sylwadau ynghlŷn â'r datblygiad arfaethedig hwn
ysgrifennu atom os gwqelwch yn dda:

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Erbyn y 10fed o Ebrill 2024



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SURVEYS, INSPECTIONS, REPORTS



**THE ROYAL HOTEL
BRIDGE STREET
LLANGOLLEN
DENBIGHSHIRE
LL20 8PG**

BUILDING DEVELOPMENT

Updated Bat Emergence Survey



The Royal, Llangollen.

| | |
|---------------------------|------------------------------------|
| Client | Knights Construction Ltd |
| Planning Authority | Denbighshire County Council |
| Grid Reference | SJ21454210 |
| Dates of Surveys | 2 and 4 July 2022 |
| Reference | 072022/BES/KCL |



PRO3755



UK/I 0343A

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Client: Knights Construction
Ref: 072022/BES/KCL

Bat Emergence Survey
Royal Hotel, Llangollen

5 July 2022
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1.0 SUMMARY

It is proposed to construct a steel-framed roof-top terrace at the Southeast-end of the hotel (where the previous flat-roofed single-storey building has been demolished) and construct a mezzanine floor in the central quadrant area, with a new access doorway provided by enlarging one of the existing window openings on the 1st floor of the South elevation wall of the existing dining room, adjacent to the North of the quadrant area. The planning process requires that ecological surveys be carried out to highlight any potential conflict regarding the protected species (bats and birds), and the proposed development work. The results of the surveys will guide what mitigation/compensation measures are required.

An initial scoping survey was carried out on 10 May 2019 by licensed bat worker, Stephen Cutmore. No bats were encountered and no evidence of recent bat activity was observed.

A further emergence survey was carried out on 20 June 2019 by Stephen Cutmore and two assistant surveyors (see report dated 24 June 2019). No bats were observed emerging from the three-storey buildings or the flat-roofed single-storey building at the Southeast end of the hotel (which was to be demolished).

The planning application was amended to also include constructing the new mezzanine layer in the quadrant area. As the previous report was older than 2 years, a further emergence survey was carried out on 3 May 2022 by Stephen Cutmore and two assistant surveyors and an updated report provided (dated 4 May 2022).

The County Ecologist made further objections and requested that a series of three additional emergence surveys be carried out. Matthew Ellis (Local NRW Officer) was emailed to explain that as there is no work being carried out to the roof where the bat roosts were located, carrying out further emergence surveys would cause an additional delay, incur further expense to the client and seemed completely unnecessary and unjustified. Following the consultation, he advised that as one survey had already been carried out during this current season in May 2022, an additional two surveys should be carried out, but instead of leaving the usual two week period between surveys, he said that the surveys could be carried out with only one day between surveys. Two additional emergence surveys were therefore carried out on 2 and 4 July 2022 by Stephen Cutmore and two assistant surveyors.

During the emergence surveys on 2 and 4 July 2022, 2 x Common Pipistrelle bats emerged from beneath ridge tiles on the roof of the dining room section, adjacent to the North side of the central quadrant area.

As no offence is likely to be committed, therefore a Derogation licence will not be required from Natural Resources Wales for this proposed development scheme.

Reasonable Avoidance Measures and provision of bat-friendly features in the proposed development will minimise disturbance to bats and keep in line with Local Biodiversity Action Plans. If Reasonable Avoidance Measures are followed, the proposed scheme is likely to have a low impact on the favourable conservation status of the locally recorded bats.



2.0 INTRODUCTION

2.1 Brief

Stephen Cutmore, a licensed bat worker (NRW[78542: OTH: CSAB: 2018], NE[2015-16936-CLS-CLS]), was commissioned by Joel Smith, Knights Construction Ltd, to carry out protected species surveys of the Royal Hotel, Bridge Street, Llangollen, Denbighshire, LL20 8PG.

The definition of the assignment was to:

1. Carry out two further bat emergence surveys (to update the previous updated report dated 4 May 2022), to determine if any bats are roosting in the buildings.
2. Provide an updated report with mitigation measures.

2.2 Purpose of this report

The purpose of this report is to advise you of the results of the parts 1 & 2 of the assignment. These results are set forth in the *Conclusions* section, following. This report describes the field conditions as found and interpreted.

2.3 Scope of report

Date of consultation.

The field surveys were made on 2 and 4 July 2022, and observations and conclusions are as of those dates.

Limit of scope.

This is solely a protected species survey results report and cannot comment on topics outside this discipline. If additional advice is required, it is strongly recommended that other professionals are consulted.

Unless stated otherwise:

- 1) information contained in this report covers only those buildings that were examined:
- 2) the inspection is limited to visual examination of the buildings, utilising a high powered torch and an endoscope. Emergence surveys utilise electronic bat detectors.
- 3) there is no warranty or guarantee, expressed or implied, that bats may not utilise the buildings after the survey has been completed, that are not discovered utilising the buildings during the inspection. Bats are highly mobile and some species frequently move roosts. It may be possible that bats could move into a building after a survey has taken place. An assessment of the suitability of the building to support roosting bats has therefore been carried out, to establish the likelihood of this occurring.
- 4) this report has been prepared for the sole use and benefit of the client. Any liability of Stephen Cutmore Arboricultural & Ecological Services shall not be extended to any third party.



2.0 INTRODUCTION (continued)

2.4 Relevant background information

It is proposed to construct a steel-framed roof-top terrace at the Southeast-end of the hotel (where the previous flat-roofed single-storey building has been demolished) and construct a mezzanine floor in the central quadrant area, with a new access doorway provided by enlarging one of the existing window openings on the 1st floor of the South elevation wall of the existing dining room, adjacent to the North of the quadrant area. The planning process requires that ecological surveys be carried out to highlight any potential conflict regarding the protected species (bats and birds), and the proposed development work. The results of the surveys will guide what mitigation/compensation measures are required.

2.5 Qualifications

Stephen Cutmore has over twenty five years' experience as an arboricultural consultant and over fifteen years' experience as an ecological consultant. Stephen holds a BSc (Hons) in Arboriculture & Urban Forestry and is a Chartered Arboriculturist. Stephen is a member of the Bat Conservation Trust (102994) and a member of Clwyd Bat Group. Stephen has been a Licenced Bat Worker since May 2007 and a Licenced Amphibian Worker since March 2011 and currently holds bat licences with NRW and NE (NRW[S087991/1], NE[2015-16936-CLS-CLS]) and GCN licences with NRW and NE (NRW[S088921/1], NE[2016-19908-CLS-CLS]).

2.6 Copyright

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3.0 DATA COLLECTION

3.1 Site Description

The Royal Hotel, Bridge Street, Llangollen, Denbighshire, LL20 8PG, is located at Grid Reference SJ21454210. The site is located in the town of Llangollen. The site is located approximately 64m to the South of the A542 Abbey Road/A539 Mill Street, on the South bank of the River Dee. The A5(T) Berwyn Road is some 177m to the South of the site.

The Shropshire Union Canal is approximately 123m to the North. The surrounding landscape has improved pasture fields with native hedgerows and trees. The site is near to Geraint Hill (aka Barber's Hill) to the West and Pen y Coed to the East. Other areas of woodland are in the locality. All these landscape features provide good habitat for foraging bats.



Figure 1: Aerial photograph of the Royal Hotel, Llangollen, showing good connectivity in the surrounding landscape.

3.2 Methodology

3.2.1 Bat emergence survey

In order to update the previously updated report (dated 4 May 2022), two further emergence surveys were carried out on 2 and 4 July 2022. Please note that as clearly stated in all the previous emergence survey reports regarding this site, the emergence surveys were carried by Stephen Cutmore and two assistant surveyors [this means Stephen did not attempt to view the buildings on his own (like he did on the initial scoping survey), but had assistant surveyors watching all aspects of the buildings being surveyed]. The surveyors took up strategic positions around the buildings, which were visually monitored to check for any emerging bats. Electronic bat detectors (Anabat Walkabout and Anabat Scout), were used to record and analyse the frequencies of bat echo-location calls. The observed flight pattern of the observed bats and the frequency of the echolocation calls enabled the species of bat to be identified.



3.0 DATA COLLECTION (continued)

3.3 Results

3.3.1 Emergence surveys

1st Evening emergence 2 July 2022

The emergence survey started at 21.25hrs, with sunset time of 21.41hrs. The starting air temperature was recorded as 16°C. The weather was dry with clear skies. There was a gentle breeze.

The survey was stopped at 23.15hrs, with a finishing temperature of 14°C.

The first bat was detected at 20.59hrs and observed flying South from the river high over the hotel site. Echolocation calls recorded [18kHz] identified it as a Noctule (*Nyctalus noctula*). At 22.06hrs three Noctule bats were observed foraging over the river and over the hotel site. These bats made frequent foraging/commuting passes throughout the survey.

At 21.59hrs a bat was observed emerging from beneath a ridge tile near the Southeast end of the dining room building, adjacent to the North of the quadrangle area. Echolocation calls recorded [45kHz] identified this as a Common Pipistrelle (*Pipistrellus pipistrellus*). The bat flew out of the quadrant and then foraged around the buildings and road to the Southeast of the hotel.

At 22.12hrs a second Common Pipistrelle bat was observed emerging from the same location.

At 22.19hrs a bat was observed and detected flying onto the site from the East and foraging around the quadrant area. Echolocation calls recorded [47kHz] identified this as a Myotis species. The call was analysed using Anabat Insight software, which identified it as a Whiskered (*Myotis mystacinus*) or a Brandt's (*Myotis brandtii*).

At 22.11hrs a bat was observed flying onto the site from the river and foraging around the Southeast of the hotel site. Echolocation calls recorded [55kHz] identified this as a Soprano Pipistrelle (*Pipistrellus pygmaeus*).

The Pipistrelle species bats made constant foraging/commuting passes around the buildings near the Southeast of the site throughout the survey.



3.0 DATA COLLECTION (continued)

3.3 Results

3.3.1 Emergence surveys

2nd Evening emergence 4 July 2022

The emergence survey started at 21.25hrs, with sunset time of 21.40hrs. The starting air temperature was recorded as 15°C. The weather was dry with 50% cloud cover. There was a gentle breeze.

The survey was stopped at 23.10hrs, with a finishing temperature of 14°C.

The first bat was detected at 21.43hrs and was observed emerging from beneath a ridge tile near the Southeast end of the dining room building, adjacent to the North of the quadrangle area. Echolocation calls recorded [45kHz] identified this as a Common Pipistrelle (*Pipistrellus pipistrellus*).

At 21.52hrs a second Common Pipistrelle bat was observed emerging from the same location.

At 21.52hrs a bat was observed flying high over the hotel site. Echolocation calls recorded [18kHz] identified it as a Noctule (*Nyctalus noctula*). Throughout the survey several Noctule bats were observed making frequent foraging/commuting passes over the site.

At 22.05hrs a bat was observed and detected flying onto the site from the Southeast and foraging around the quadrant area, before flying South over the roof of the hotel. Echolocation calls recorded [47kHz] identified this as a Myotis species. The call was analysed using Anabat Insight software, which identified it as a Natterer's (*Myotis nattereri*).

At 22.11hrs a bat was observed flying onto the site from the East and foraging around the Southeast of the hotel site. Echolocation calls recorded [55kHz] identified this as a Soprano Pipistrelle (*Pipistrellus pygmaeus*).

The Pipistrelle species bats made constant foraging/commuting passes around the buildings near the Southeast of the site throughout the survey.

3.3.3 Nesting birds

Evidence of nesting birds was observed in the form of Feral Pigeon (*Columba livia domestica*), nesting and roosting on the external window ledges, pipework etc. of the buildings surrounding the quadrangle area.



4.0 SITE EVALUATION

The Shropshire Union Canal is approximately 123m to the North. The surrounding landscape has improved pasture fields with native hedgerows and trees. The site is near to Geraint Hill (aka Barber's Hill) to the West and Pen y Coed to the East. Other areas of woodland are in the locality. All these landscape features provide good habitat for foraging bats.

During the initial scoping survey on 10 May 2019 no bats were encountered and no evidence of recent activity was observed in the form of droppings, feeding remains etc.

During the emergence survey on 20 June 2019 no bats were observed emerging from the three-storey hotel buildings or the flat-roofed single-storey building at the Southeast of the site.

During the emergence survey on 3 May 2022, 3 x Common Pipistrelle bats emerged from beneath ridge tiles on the roof of the dining room section, adjacent to the North side of the central quadrant area.

During the emergence surveys on 2 and 4 July 2022, 2 x Common Pipistrelle bats emerged from beneath ridge tiles on the roof of the dining room section, adjacent to the North side of the central quadrant area.

No bats were observed emerging from the other three-storey hotel buildings at the Southeast end of the hotel.

Noctule, Soprano, Natterers and Whiskered/Brandt's bats were detected foraging in the vicinity of the site.

5.0 IMPACT ASSESSMENT

5.1 Short-term impact

Disturbance through increased human presence, noise and changes in site layout may have a short-term detrimental effect on foraging bats.

5.2 Long-term impact – roost losses

The proposed work is to construct a steel-framed roof-top terrace at the Southeast-end of the hotel (where the previous flat-roofed single-storey building has been demolished) and construct a mezzanine floor in the quadrangle area, with a new access doorway provided by enlarging one of the existing window openings on the 1st floor of the South elevation wall of the existing dining room. **No work is to be carried out to any of the roofs of any of the three-storey hotel buildings (no stripping/re-slating, no repairs, no 'marrying in' new roofs to existing roofs, NO WORK AT ALL).** NO bat roosts will be disturbed/damaged/destroyed during the proposed development, therefore no short-term impact is likely on the locally recorded bats.

5.3 Long-term impact – fragmentation and isolation

There is no vegetation in the immediate vicinity of the hotel complex, apart from a Corsican Pine tree on the East boundary, which is being retained. There will be no long-term impact due to fragmentation and isolation.



5.0 IMPACT ASSESSMENT (continued)

5.4 Post-development interference impacts

Any bright, artificial lighting on roost entrances and flightlines would be negative. Any lighting should be low level, with illumination directed downwards to minimise impact (see 7.4 Lighting below).

5.5 Predicted scale of impact

The proposed development would have a low impact on the favourable conservation status of locally recorded bats. Reasonable Avoidance Measures and the provision of bat-friendly features will minimise the impact on locally recorded bats.

6.0 CONCLUSIONS

6.1 Bats

Two Common Pipistrelle bats were observed emerging from beneath ridge tiles on the roof of the dining room section of the hotel, adjacent to the North side of the quadrangle area.

No bats were observed emerging from the other three-storey hotel buildings at the Southeast end of the hotel, in the vicinity of where the flat-roofed single-storey building was previously demolished.

Noctule, Soprano, Natterers and Whiskered/Brandt's bats were detected foraging in the vicinity of the site (Note: they did not emerge from the buildings).

The Royal Hotel, Bridge Street, Llangollen is therefore a known roost. The slate covered pitched roof of the three-storey hotel building, (where the dining room is located on the first floor, adjacent to the North of the central quadrant area), is being used as a small day roost by up to 3 x Common Pipistrelle bats (3 emerged on May 2022 survey, just 2 emerged on July 2022 surveys).

The proposed work is to construct a steel-framed roof-top terrace at the Southeast-end of the hotel (where the previous flat-roofed single-storey building has been demolished). The site is denoted by the red arrow. There is **NO WORK** being carried out to the roof of the three-storey roof of the hotel building, denoted by the green arrow.



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6.0 CONCLUSIONS

6.1 Bats

The proposed work is to also construct a mezzanine floor in the central quadrangle area, with a new access doorway provided by enlarging one of the existing window openings on the 1st floor of the South elevation wall of the existing dining room.



To ensure I explain the situation as clearly as I can and to avoid any possible further confusion/misunderstanding, the above photo shows the three-storey hotel building, adjacent to the North side of the central quadrant area. The white arrow denotes the Ground Floor. The red arrow denotes the First Floor. The blue arrow denotes the Second Floor. The green arrow denotes the pitched roof covered with natural slates on top of the three-storey building.

The only work to this three-storey building is to provide a new access to the proposed mezzanine floor area (which will be located within the central quadrant area), by creating a doorway in the South elevation wall (the side of the building the above photo shows) by enlarging one of the existing window openings on the 1st floor of the South elevation wall of the existing dining room (denoted by the red arrow).

There is no work to be done on the Second Floor of the building (denoted by blue arrow). There is no work to be done to the roof (denoted by green arrow).

To be specifically clear: **No** work is to be carried out to this roof (**no** stripping/re-slating, **no** repairs, **no** 'marrying in' new roofs to existing roofs etc.). Creating the new doorway access in the First Floor level will **not involve any** work to this roof.

In fact, **THERE IS NO WORK TO BE DONE TO ANY OF THE SLATE COVERED ROOFS OF THE ENTIRE HOTEL BUILDING COMPLEX DURING THE PROPOSED WORKS.**



6.0 CONCLUSIONS

6.1 Bats

As **no** work will be carried out to the roofs, **NO** bat roosts will be disturbed/damaged/destroyed during the proposed development. As **no** offence is likely to be committed, therefore a Derogation licence will **not** be required from Natural Resources Wales for this proposed development scheme.

The County Ecologist raised concerns about the impact of the proposed development on the nearby River Dee, which is designated a Site of Special Scientific Interest and also a Special Area of Conservation, especially regarding additional illumination.

Any bright, artificial lighting on roost entrances and flightlines would be negative. The existing floodlights observed on the fence adjacent to the North boundary/riverbank are defunct and will be removed. Mitigation will ensure that any lighting will be low level, with illumination directed downwards, to minimise impact on bats and other species (see 7.4 Lighting below). In particular, in the East area of the hotel site adjacent to the river, illumination will be directed downwards and away from the river, therefore not illuminating the SAC/SSSI, so there is no predicted impact from Artificial Light at Night [ALAN].

It was observed during the emergence surveys that the new street lighting installed by the County Highways department on the bridge, is causing significant light spillage onto the river corridor and therefore likely disturbing bats and other wildlife species on the SAC/SSSI.

Reasonable Avoidance Measures and provision of bat-friendly features in the proposed development will minimise disturbance to bats and keep in line with Local Biodiversity Action Plans. If Reasonable Avoidance Measures are followed, the proposed scheme is likely to have a low impact on the favourable conservation status of the locally recorded bats.

6.2 Nesting birds

Evidence of nesting birds was observed in the form of Feral Pigeon (*Columba livia domestica*), nesting and roosting on the external window ledges, pipework etc. of the buildings surrounding the quadrant area. Feral Pigeons are classed as a 'pest species' due to the risk they pose to public health and safety (especially as this is adjacent to a restaurant area preparing food). However it should be noted that even 'pest species' are protected by UK wildlife legislation. Any work that could disturb active bird nests containing eggs or chicks, will be carried out outside of bird nesting season (1st March-30th September), to avoid an offence being committed.



7.0 MITIGATION AND RECOMMENDATIONS

7.1 REASONABLE AVOIDANCE MEASURES

General recommendations

Timing of the development works is crucial. The optimum time for development work to minimise disturbance to bats is 1st September – 1st May.

Development works

During the construction phase, great care must be taken to protect roosting, torpid or hibernating bats that may be present (bats often move roosts during the year, so this is a precaution in case bats move into an area where roosts were not identified on the surveys). Extreme caution must be exercised when removing building materials, (especially where two materials meet as there is potential for finding bats). The materials should be gently lifted by hand before removal and checked underneath for bats. Check for bats also in timber joints, behind mortar fillets and under lead sheeting. A similar precautionary approach should be taken by checking around window frames, lintels, lintel bearers, doorframes, structural members, wall plates, gaps in stonework, lead flashing etc., before proceeding with any work, to ensure no bats are injured during the works.

The amendments to the European Habitat Regulations came into force in August 2007, which means that the ‘incidental result defence’, which previously covered acts that were the incidental result of an otherwise lawful operation, such as a planning permission, has now been removed. Therefore, if any bats, or signs of bats (droppings etc.) are encountered, work should stop immediately and not resume until advised by an ecologist. If any bats are discovered, Natural Resources Wales must be notified as to what bat species and numbers were encountered and what action has been taken.

Any proposed development works which may affect nesting birds should be carried out between October – March to avoid the nesting season.

7.2 BAT ROOSTING OPPORTUNITIES

It is recommended that bat friendly features be incorporated into the proposed development, as wildlife enhancements, in order to keep in line with the Local Biodiversity Action Plans.

One option is to install a Schwegler 1FQ wall-mounted bat box (75) [available from www.wildcareshop.com], which should be fixed to the South or West-facing external wall of a building, high enough (2 - 3m) to avoid predation by cats. As there are often problems with obtaining supplies of Schwegler products, an equivalent design woodcrete bat box by a different manufacturer will be a suitable alternative. Another option would be to install bat bricks in the external walls, to provide a contained roost space for bats.

Any bat-friendly features to be incorporated in the new development should be detailed on the development plans/drawings.



7.0 MITIGATION AND RECOMMENDATIONS (continued)

7.3 TIMBER TREATMENT

Any timber treatment to protect against insects, fungal growth or weathering in areas with potential to be accessed by bats, should only be carried out utilising chemicals from the Natural Resources Wales approved list. A list of Approved Products is available at <https://www.gov.uk/guidance/bat-roosts-use-of-chemical-pest-control-products-and-timber-treatments-in-or-near-them>, which provides links to Timber Treatment Table 1. If the product is not listed, check the active ingredients listed in Timber Treatment Tables 2-7.

You can't use chemical products in or near a known bat roost if there are bats present. The best time to apply treatments is usually between autumn and spring.

Pre-treated timber products

Pre-treated timber products are not included in the tables mentioned above. You can use timber that's been pre-treated off-site, because the chemicals are injected deep into the timber leaving lower concentrations on the surface which isn't harmful to bats. However you shouldn't apply products used to pre-treat timber on-site, because the active ingredients will be more concentrated on the timber surface and may be harmful to bats.

Stains and preservatives

Decorative wood finishes, like stains or wood preservative, can be used around bat roosts as long as you only use them on external timber.

7.4 LIGHTING

Bats can be disturbed by bright, artificial lighting at night (ALAN). Where lighting is essential in the vicinity of any proposed new development, subdued lighting should be used and the illumination should be directed downwards to where it is needed (upward light ratio 0%) and light spillage avoided. This can be achieved by the design of the luminaire and by using accessories such as hoods, cowls, louvres and shields to direct the light to the intended area only. The light should be as low as guidelines permit. If lighting is not needed in any particular area, do not light.

LED luminaires should be used where possible, with a warm white spectrum (<2700Kelvin) to minimise blue light component. Luminaires should have peak wavelengths higher than 550nm to avoid the component of light most disturbing to bats. Alternatively, the use of low pressure sodium lamps or high pressure sodium instead of mercury or metal halide lamps where glass glazing is preferred due to its UV filtration characteristics. The use of motion sensor-triggered security lighting with short (1 min) timers, is preferable to permanent lighting. If roosting opportunities are to be incorporated into the new development, it is essential that roost access points and flightlines used for foraging/commuting (e.g. hedgerows, lines of trees) are not illuminated. The use of soft landscaping and fencing [supported by concrete posts to ensure long-term contribution] can be used to screen light spill. The latest Guide Note 08/18 can be downloaded at www.theilp.org.uk/documents/guidance-note-8-bats-and-artificial-lighting/

Hilclare Lighting (www.hilclare.com) provide suitable lighting products to avoid illumination shining upwards (e.g. the Elmira and Madrid models).



7.0 MITIGATION AND RECOMMENDATIONS (continued)

7.4 LIGHTING

Numerous lighting design software programmes are currently available which can be used to predict where the light cone and light spill will occur, which produce an image of the site in question, showing how the area will be affected by light spill when all the factors of the lighting components listed above are taken into consideration. This should be a useful tool for the architect/designer, to help inform lighting plans, demonstrating how lighting decisions will illuminate a site.

7.5 BIRD NESTING OPPORTUNITIES

Consideration should be given to providing some simple measures that would have a positive conservation benefit on local bird populations. These may be in the form of eaves built to be suitable for house martins. Suitable crevices left unsealed in exterior stonework or brickwork provides potential for nesting house sparrows. Bird boxes could be fixed to the external walls or installed in the Corsican Pine tree on the East Boundary, to benefit local bird populations.

8.0 WILDLIFE AND THE LAW

8.1 EUROPEAN PROTECTED SPECIES

The Bern Convention (The convention on the conservation of European Wildlife and Natural Habitats) was adopted in 1979 and came into force in 1982. To implement this agreement, the European Community adopted the EC Habitats Directive. The EC Habitats Directive has been transposed into UK legislation by the Wildlife and Countryside Act, 1981 (as amended) and the Conservation of Habitats and Species Regulations, 2010. The Countryside and Rights of Way Act (CROW), 2000 strengthened the existing wildlife legislation in the UK. The UK has also signed the Bonn Convention (The Convention on the Conservation of Migratory Species of Wild Animals) and is therefore party to various agreements.

As from 30th November 2017 the legislation relating to European Protected Species has been consolidated into a new Regulation "The Conservation of Habitats and Species Regulations 2017".

8.1.1 Bats

All 17 bat species found in the UK and their roosts are protected in the UK under Schedules 5 and 6 of the Wildlife & Countryside Act 1981 (as amended) and are therefore afforded protection under Section 9 of this Act. The Countryside Rights of Way Act (CROW) 2000 strengthened the existing wildlife legislation in the UK.

In addition, five British bat species are also listed on Annex II [and all bats are listed on Annex IV] of the EC Habitats Directive, which is transposed into national law by means of The Conservation of Habitats and Species Regulations (2017).

These are:

- Greater horseshoe bat (*Rhinolophus ferrumequinum*);
- Lesser horseshoe bat (*Rhinolophus hipposideros*);
- Bechstein's bat (*Myotis bechsteinii*);
- Barbastelle (*Barbastella barbastellus*) and
- Greater mouse-eared bat (*Myotis myotis*).



8.0 WILDLIFE AND THE LAW (continued)

8.1 EUROPEAN PROTECTED SPECIES

8.1.1 Bats

Bats are listed under Appendix III of the Bern Convention. Bats and their habitats are also listed under Appendix II of the Bonn Convention and therefore the UK has an obligation to protect their habitat, including links to important feeding areas. The UK had designated maternity and hibernacula areas as Special Areas of Conservation (SACs) under the Habitats Directive. Implementation of the UK Biodiversity Action Plan also includes action for a number bat species and the habitats which support them.

8.1.2 Legislation relating to European Protected Species

In relation to a development a person commits an offence if they –

- Deliberately captures, injures or kills a European Protected Species
- Deliberately or recklessly disturbs wild animals of any such species in such a way as to be likely significant to affect:
 - (i) the ability of any significant group of animals to survive, breed, or rear or nurture their young; or
 - (ii) the local distribution or abundance of that species;
- Damages or destroys a breeding site or resting place (even if unintentional or when the animal is not present)
- Intentionally or recklessly obstructs access to a structure or place used for protection or shelter
- This legislation applies, regardless of the life stage (including eggs).

A European Protected Species Licence is required to carry out any activity that would otherwise involve committing an offence.

To avoid disturbance during habitat management, a written strategy is required following guidance provided by Natural Resources Wales. If the guidance is followed and major disturbance can be avoided, then a licence is not required.

8.1.3 European Protected Species Licences

At the present time, Natural Resources Wales requires the following three ‘tests’ to be met, in order that a licence may be granted.

Test 1. Regulation 53 (2) (e) states that licences granted to ‘preserve public health, or public safety or other imperative reasons of overriding public interest, including those of a social or economic nature and beneficial consequences of primary importance for the environment’.

Test 2. Regulation 53 (9) (a) states that a licence may not be granted unless the licensing authority is satisfied ‘that there is no reasonable alternative’.

Test 3. Regulation 53 (9) (b) states that a licence cannot be issued unless the licensing authority is satisfied that the action proposed ‘will not be detrimental to the maintenance of the species concerned at a favourable conservation status in its natural range’.



8.0 WILDLIFE AND THE LAW (continued)

8.1.4 Recent changes in Licences

Following a recent intervention from the European Court, there have been significant changes in the interpretation of the way licences are issued. In considering a licence request, Natural Resources Wales will seek information relating to the size and importance of the population/colony and will require evidence to demonstrate that the species will be maintained 'at a favourable conservation status in their natural range'. In effect, this means that to obtain a licence, Natural Resources Wales must be satisfied that the applicant will implement mitigation to safeguard (and ideally enhance) the population concerned. Natural Resources Wales will need to see evidence that the development work which will disturb/destroy a roost site will be undertaken using current best practice, also that the bats can be provided with an alternative roost site on or in the immediate area.

8.1.5 Important EPSL Information

Please note that a European Protected Species Licence can only be obtained once planning permission has been granted. When assessing planning applications where a European Protected Species could be affected by proposed works, the local Planning Authority must take into account the potential impacts on the species concerned. In practice this could make further survey work (such as emergence surveys in the case of bats) essential prior to planning permission being granted. Alternatively the LPA may grant planning permission whilst imposing planning conditions to undertake further survey work. The local Planning Authority must also have regard for the three 'tests' as outlined above – Regulations 53 (2) (e), 53 (9) (a) and 53 (9) (b). Once planning permission has been granted a European Protected Species Licence application can be submitted to Natural Resources Wales. The application requires detailed Method Statements to be produced by a qualified bat ecologist to demonstrate how Regulation 53 (9) (b) can be satisfied. The applicant will also need to complete a Reasoned Statement form demonstrating (with evidence) that Regulations 53 (2) (e) and 53 (9) (a) are satisfied. This involves producing evidence to show that no reasonable alternative to the proposed action is available and that the action must take place to either 'preserve public health, or public safety or other imperative reasons of overriding public interest, including those of a social or economic nature and beneficial consequences of primary importance for the environment.

8.2 OTHER PROTECTED SPECIES - NESTING BIRDS

All wild birds are protected under Part 1 of the Wildlife and Countryside Act, 1981 (as amended). Therefore in the UK it is an offence to:

- Take, damage or destroy the nest of any wild bird whilst it is being built or in use.
- Kill, injure or take any wild bird.
- Take or destroy the eggs of any wild bird.

To avoid committing an offence no works should be carried out on a structure/feature that is being used by nesting birds. Nesting is deemed to be over when the young have fully fledged. Certain species which are listed in Schedule 1 of the Wildlife and Countryside Act receive special protection. In these cases any form of intentional or reckless disturbance when they are nesting or rearing dependent young, constitutes an offence. Any disturbance of nesting birds between 1st March-30th September could constitute a criminal offence.



8.0 WILDLIFE AND THE LAW (continued)

8.3 ENVIRONMENT (WALES) ACT 2016

This Act sets out Wales' approach to planning and managing natural resources at a national and local level with a general purpose linked to statutory 'principles of sustainable management of natural resources' defined within the Act.

The Environment (Wales) Act introduces a new, enhanced Biodiversity and Resilience of Ecosystem Duty on public bodies to ensure that biodiversity is an integral part of decision making. The Duty will replace the existing Natural Environment and Rural Communities (NERC) Act 2006 Duty. Public authorities will be required to report on the actions they are taking to improve biodiversity and promote ecosystem resilience. Section 6 of the Act places a duty on public authorities to seek to maintain and enhance biological diversity (referred to as biodiversity). All public bodies, statutory undertakers, Ministers of the Crown and other public office holders are required to apply the duty when they are carrying on any functions in Wales, or in relation to Wales. Section 7 of the Act is similar to the duty in *section 42 of the NERC Act 2006* which it replaces. It places a duty on the Welsh Ministers to publish, review and revise lists of living organisms and types of habitat in Wales, which they consider are of key significance to sustain and improve biodiversity in relation to Wales.

8.4 PLANNING POLICY WALES FRAMEWORK

Planning Policy Wales (Edition 11, Dec 2021) sets out the Welsh Government's planning policies and how these are expected to be applied. The planning system manages the development and use of land in the public interest, contributing to improving the economic, social, environmental and cultural well-being of Wales, as required by the Well-being of Future Generations (Wales) Act 2015. It should reconcile the needs of development and conservation, securing economy, efficiency and amenity in the use of land, and protecting natural resources and the historic environment. A well-functioning planning system is fundamental for sustainable development.



8.0 WILDLIFE AND THE LAW (continued)

8.5 KEY PRINCIPLES OF PWW (2021)

Chapter 6 'Distinct and Natural Places' provides policies for protection of biodiversity and geological conservation.

Para.6.4.3 Development proposals must consider the needs to:

- support the conservation of biodiversity, in particular the conservation of wildlife and habitats;
- ensure action in Wales contributes to meeting international responsibilities and obligations for biodiversity and habitats;
- ensure statutorily and non-statutorily designated sites are properly protected and managed;
- safeguard protected and priority species and existing biodiversity assets from impacts which directly affect their nature conservation interests and compromise the resilience of ecological networks and the components which underpin them, such as water and soil, including peat; and
- secure enhancement of and improvements to ecosystem resilience by improving diversity, condition, extent and connectivity of ecological networks.

Para 6.4.22 states:

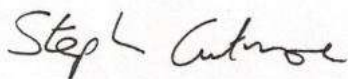
- The presence of a species protected under European or UK legislation is a material consideration when a local planning authority is considering a development proposal which, if carried out, would be likely to result in disturbance or harm to the species or its habitat.
- Local planning authorities should advise anyone submitting a planning application that they must conform with any statutory species protection provisions affecting the site concerned, and should consult Natural Resources Wales before granting permission.
- An ecological survey to confirm whether a protected species is present and an assessment of the likely impact of the development on a protected species may be required in order to inform the planning decision.

Para 6.4.23 states:

- Developments are always subject to the legislation covering European protected species regardless of whether or not they are within a designated site.
- New developments for which development works would contravene the protection afforded to European protected species require derogations from the provisions of the Habitats Directive.
- A derogation may only be authorised if there is no satisfactory alternative and if the action authorised will not be detrimental to the maintenance of the population of the species concerned at a favourable conservation status in its natural range.
- The development works to be authorised must be for the purposes of preserving 'public health or safety, or for other imperative reasons of overriding public interest, including those of a social or economic nature and beneficial consequences of primary importance for the environment'.
- Derogations are granted by a licence issued by Natural Resources Wales. Local planning authorities are under a duty to have regard to the requirements of the Habitats Directive in exercising their functions.

To avoid developments with planning permission subsequently not being granted derogations in relation to European protected species, planning authorities should take the above three requirements for derogation into account when considering development proposals where a European protected species is present.

Report written and compiled by



Stephen Cutmore BSc (Hons)

Licenced Bat Worker (NRW[S087991/1], NE[2015-16936-CLS-CLS])

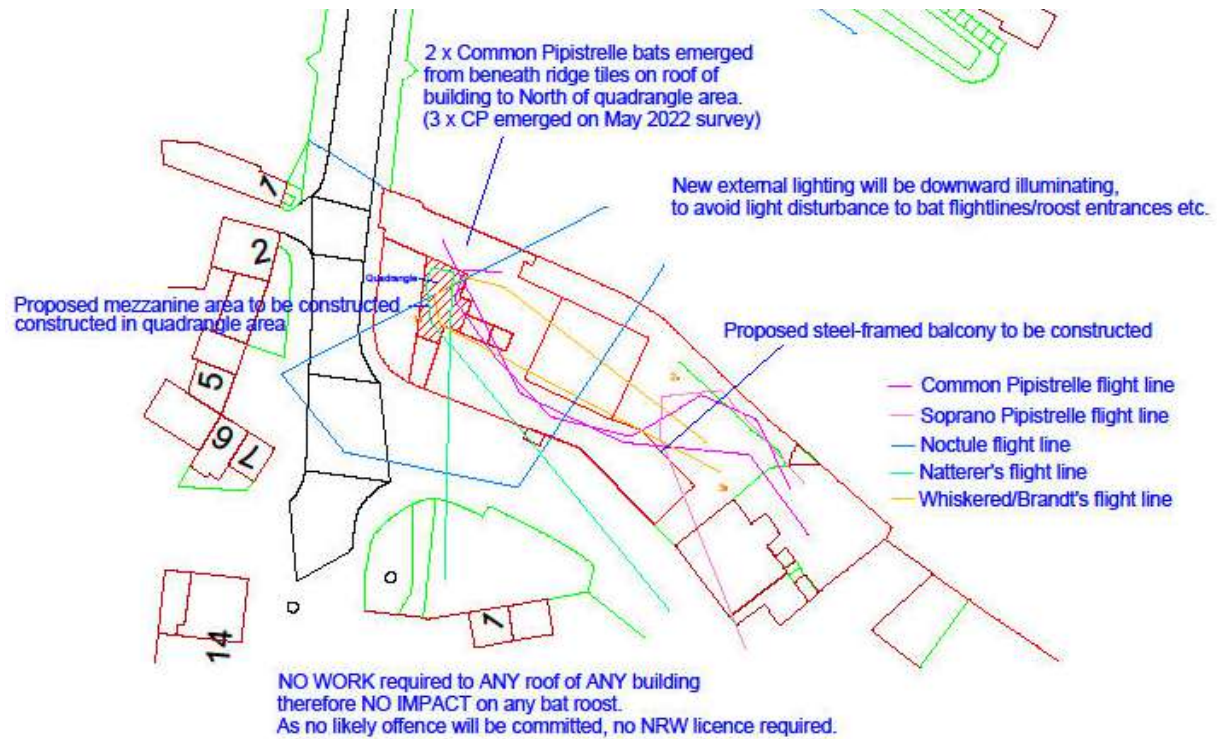
Client: Knights Construction
Ref: 072022/BES/KCL

Bat Emergence Survey
Royal Hotel, Llangollen

5 July 2022
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APPENDIX 1 – Site plan



APPENDIX 2 – Photographs



Photo 1: Common Pipistrelle roost access points in roof of dining room adjacent to North of quadrangle area. (Note – on the May 2022 survey a bat also emerged from near the chimney to the left of the roof).



Photo 2: Three-storey buildings to Southeast of hotel where single-storey building was previously demolished.

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APPENDIX 3 – Grading system for bat habitats

It should be noted that low suitability roosting habitats may be present in commuting/foraging habitats that are of high suitability and vice versa. Roosting habitats and commuting/foraging habitats should be assessed separately and independently.

Table 1: Guidelines for assessing the potential suitability of proposed development sites for bats, based on the presence of habitat features within the landscape, to be applied using professional judgement.

| Suitability | Description Roosting habitats | Commuting and foraging habitats |
|-------------|---|---|
| Negligible | Negligible habitat features on site likely to be used by roosting bats. | Negligible habitat features on site likely to be used by commuting or foraging bats. |
| Low | <p>A structure with one or more potential roost sites that could be used by individual bats opportunistically. However, these potential roost sites do not provide enough space, shelter, protection, appropriate conditions and/or surrounding habitat to be used on a regular basis or by larger numbers of bats (i.e. unlikely to be suitable for maternity or hibernation).</p> <p>A tree of sufficient size and age to contain PFRs but with none seen from the ground or features seen with only very limited roosting potential.</p> | <p>Habitat that could be used by small numbers of commuting bats such as a gappy hedgerow or unvegetated stream, but isolated i.e not very well connected to the surrounding landscape by other habitat.</p> <p>Suitable, but isolated habitat that could be used by small numbers of foraging bats such as a lone tree (but not in a parkland situation) or a patch of scrub.</p> |
| Moderate | A structure or tree with one or more potential roost sites that could be used by bats due to their size, shelter, protection, conditions and surrounding habitat but unlikely to support a roost of high conservation status (with respect to roost types only – the assessments in this table are made irrespective of species conservation status, which is established after presence is confirmed). | <p>Continuous habitat connected to the wider landscape that could be used by bats for commuting such as lines of trees or scrub or linked back gardens.</p> <p>Habitat that is connected to the wider landscape that could be used by bats for foraging such as trees, scrub, grassland or water.</p> |
| High | A structure or tree with one or more potential roost sites that are obviously suitable for use by larger numbers of bats on a more regular basis and potentially for longer periods of time due to their size, shelter, protection, conditions and surrounding habitat. | <p>Continuous, high-quality habitat that is well connected to the wider landscape that is likely to be used regularly by commuting bats such as river valleys, streams, hedgerows, lines of trees and woodland edge.</p> <p>High-quality habitat that is well connected to the wider landscape that is likely to be used regularly by foraging bats such as broadleaved woodland, tree-lined watercourses and grazed parkland.</p> <p>Site is close to and connected to known roosts.</p> |



APPENDIX 4 – Bat Sonographs

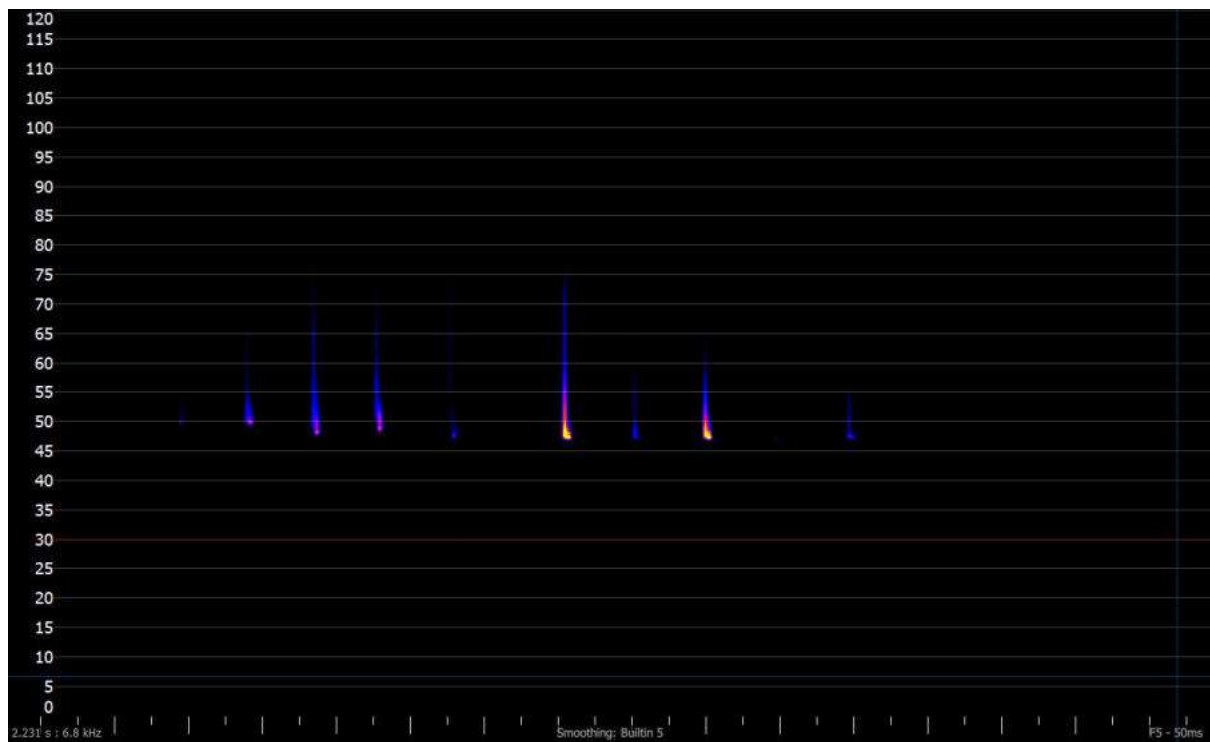


Figure 2: Common Pipistrelle [45kHz] emerging from dining room roof.

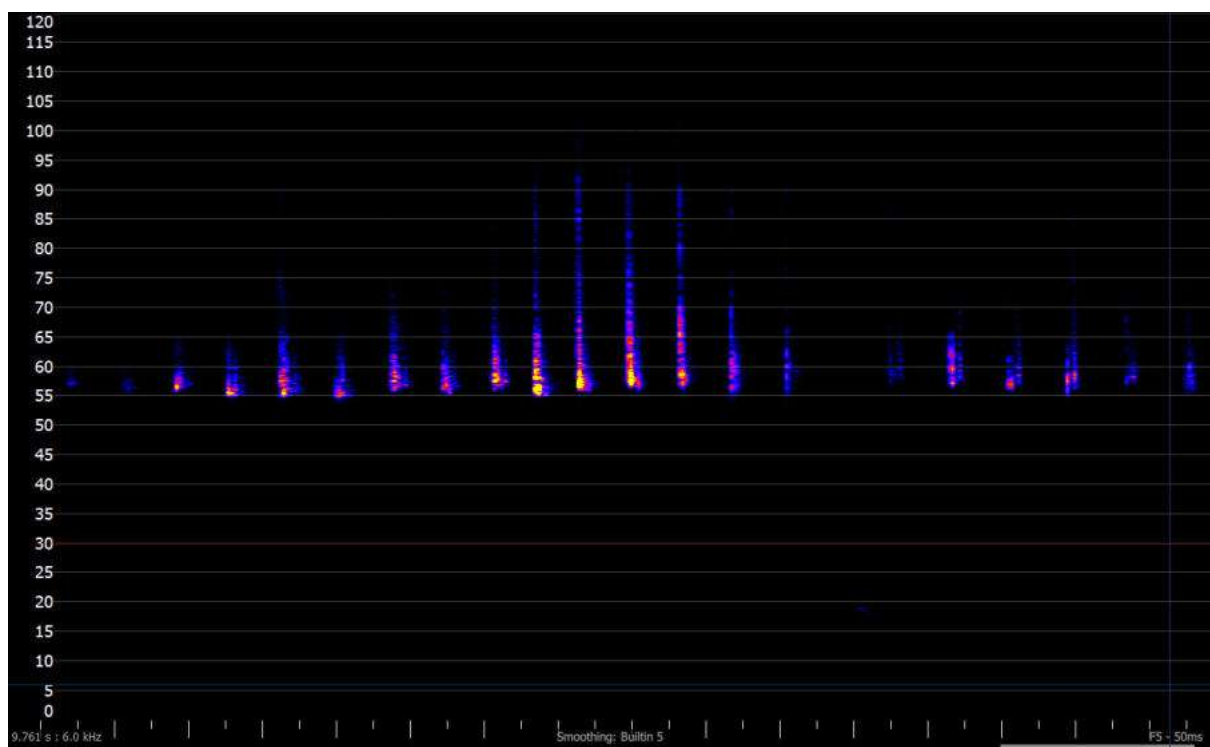


Figure 3: Soprano Pipistrelle [55kHz] foraging over Southeast of site.



APPENDIX 4 – Bat Sonographs

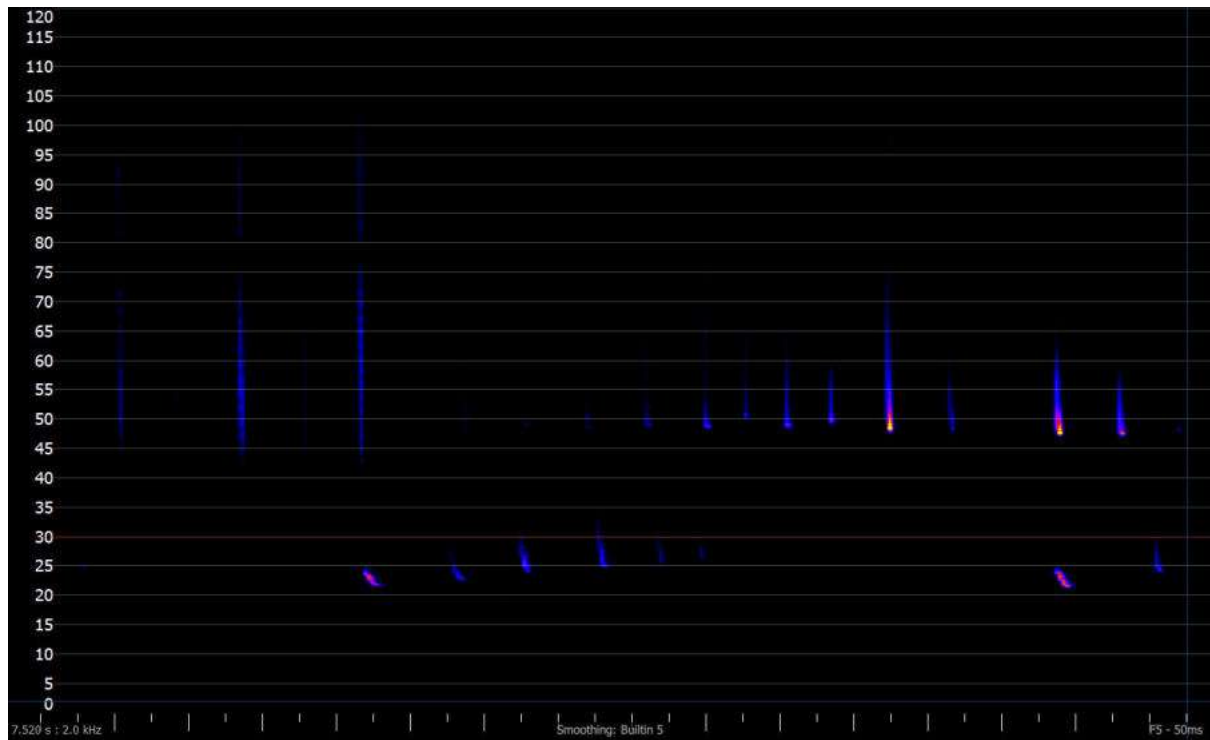


Figure 4: Whiskered/Brandt's [47kHz], Noctule [18kHz] and Common Pipistrelle [45kHz] all foraging within the vicinity of the site at the same time.

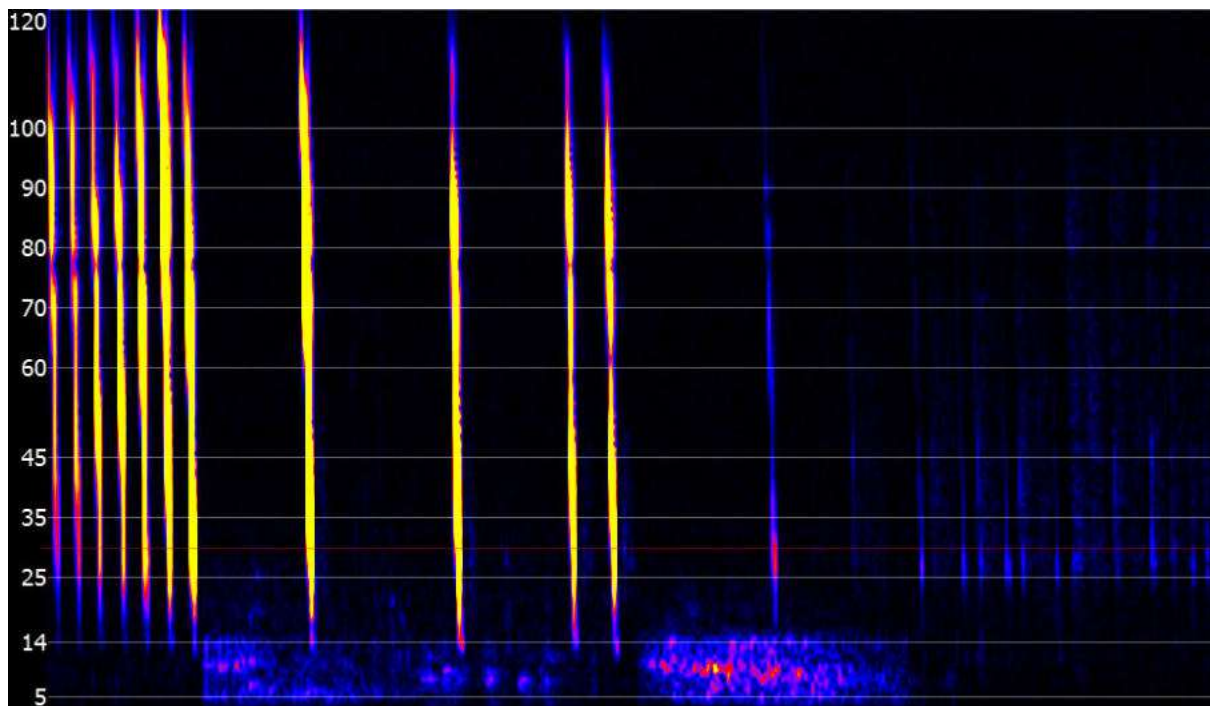


Figure 5: Natterer's [47kHz] foraging around central quadrant area.



APPENDIX 5 – Mitigation details



Figure 6: Schwegler triple front panel (55) bat box.



Figure 7: Schwegler (1FQ) (75) wall-mounted bat box.

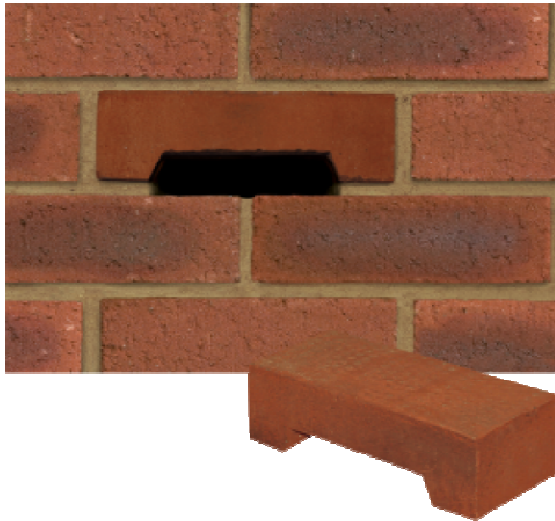


Figure 8: Ibstock type bat brick.



Figure 9: Bat brick habitat box.



APPENDIX 6: Bibliography

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Royal Hotel, Llangollen Heritage Impact Assessment on Conservation Area and Impact on Setting of Designated Assets January 2024



Report by: Trysor

For: Knights Construction Ltd

January 2024



Royal Hotel, Llangollen Heritage Impact Assessment on Conservation Area and Impact on Setting of Designated Assets January 2024

By

Jenny Hall, MCIfA & Paul Sambrook, MCIfA
Trysor

Trysor Project No. 2023/919
HER Event Record PRN – CPAT 215550

For: Knights Construction Ltd

January 2024

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Cover photograph: From the river Dee, looking southwest to the Royal Hotel

Royal Hotel, Llangollen
Heritage Impact Assessment on Conservation Area and Impact
on Setting of Designated Assets
January 2024

RHIF YR ADRODDIAD - REPORT NUMBER: Trysor 2023/919

EVENT RECORD HER PRN – CPAT 215550

DYDDIAD 8^{fed} Mis Ionawr 2024 **DATE** 8th January 2024

Paratowyd yr adroddiad hwn gan bartneriad Trysor. Mae wedi ei gael yn gywir ac yn derbyn ein sêl bendith.

This report was prepared by the Trysor partners. It has been checked and received our approval.

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PAUL SAMBROOK MCIfA *Paul Sambrook*

Croesawn unrhyw sylwadau ar gynnwys neu strwythur yr adroddiad hwn.

We welcome any comments on the content or structure of this report.

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He has been a partner in Trysor since 2004 undertaking a variety of work that includes heritage impact assessments, setting assessments and other desk-based appraisals and assessments, as well as evaluations, watching briefs, building recording and field survey.

Event Record PRN – CPAT HER

| | |
|--------------------|---|
| PRN | CPAT 215550 |
| Name | Royal Hotel, Llangollen Heritage Impact Assessment on Conservation Area and Impact on Setting of Designated Assets November 2023 |
| Type | HERITAGE ASSESSMENT |
| NGR | SJ2154042111 |
| Easting | 321540 |
| Northing | 342111 |
| Summary (English) | In autumn 2023, Trysor undertook a review of a Heritage Impact Assessment completed in 2022. The 2022 assessment was to consider the impact on other designated historic assets in relation to proposals to refurbish and extend the Royal Hotel, Bridge Street, Llangollen, Denbighshire. Planning permission and Listed Building Consent was granted for the scheme. In 2023 alterations to the consented scheme required that the Heritage Impact Assessment was reviewed. © Trysor 2024 |
| Crynodeb (Cymraeg) | Yn hydref 2023, cynhaliodd Trysor adolygiad o Asesiad Effaith Treftadaeth a gwblhawyd yn 2022. Roedd asesiad 2022 i ystyried yr effaith ar asedau hanesyddol dynodedig eraill mewn perthynas â chynigion i adnewyddu ac ymestyn y Royal Hotel, Bridge Street, Llangollen, Sir Ddinbych. Rhoddwyd caniatâd cynllunio a Chaniatâd Adeilad Rhestredig ar gyfer y cynllun. Yn 2023 roedd newidiadau i'r cynllun a ganiatawyd yn ei gwneud yn ofynnol i'r Asesiad o'r Effaith ar Dreftadaeth gael ei adolygu.© Trysor 2024 |
| Description | In autumn 2023, Trysor undertook a review of a Heritage Impact Assessment completed in 2022. The 2022 assessment was to consider the impact on other designated historic assets in relation to proposals to refurbish and extend the Royal Hotel, Bridge Street, Llangollen, Denbighshire. Planning permission and Listed Building Consent was granted for the scheme. In 2023 alterations to the consented scheme required that the Heritage Impact Assessment was reviewed. © Trysor 2024 |
| Sources | Trysor, 2024, Royal Hotel, Llangollen Heritage Impact Assessment on Conservation Area and Impact on Setting of Designated Assets, January 2024 |
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Summary

Trysor have undertaken a review of the heritage impact assessment undertaken in 2022. That assessment was for the impact on the Llangollen Conservation Area, the Pontcysyllte Aqueduct and Canal World Heritage Site and an assessment of the impact on the setting of the intervisible scheduled monuments and listed buildings from the proposed refurbishment and improvement of the Royal Hotel, Llangollen. The scheme was consented in 2022, planning application 03/2022/0173 and Listed Building consent 03/2022/0174. The client wishes to make some variations to the consented scheme to reflect the current market and this report considers those changes.

The proposed variations to the consented scheme include a new-build residential block to replace the new-build spa, an additional stairwell/lift block to service the residential block, no canopy over the riverside decking, and blocking up of the gateway into the courtyard from Bridge Street. The new-build residential block will have similar design elements to the consented spa, but will not feature the stone elements and will have a smaller footprint taking it away from the riverside slightly.

The Llangollen Conservation Area was designated in 1985, with its key characteristics defined in the Conservation Area Appraisal, dating to 1997. In 2016, Cadw undertook an Understanding Urban Character assessment for Llangollen, providing a more detailed assessment of the town's history and character, defining 6 character areas, and providing a Statement of Significance (Cadw, 2016). Both documents have informed this assessment.

Having considered the characteristic elements of the Conservation Area identified in the Conservation Area Appraisal, this assessment concludes that the key characteristics of the Conservation Area will be preserved by the proposed development.

The assessment has found that impacts of the proposed changes on the setting of the Conservation Area range from a Very Low Negative impact on setting caused by the addition of new structural elements to the complex, to a Low Positive impact arising from the renewal of one of the most important buildings in the town. The hotel will be retained as a prominent building serving its original function as a result of the proposed development.

The Royal Hotel does lie within the Essential Setting of the Pontcysyllte Aqueduct and Canal World Heritage Site but there would be no impact on its significance.

1. Introduction

1.1 This document has been prepared by Trysor, at the request of Knights Construction Ltd, to re-assess the impact on the Llangollen Conservation Area, and on the setting of nearby designated historic assets from a proposed variation to consented changes and improvements at the Royal Hotel, Llangollen at SJ2154042111, planning application 03/2022/0173 and Listed Building consent 03/2022/0174.

1.2 The proposed development consists of the refurbishment of the Royal Hotel and includes replacing a 1960s element with a new build, , and a new external décor. A previous heritage impact assessment on the Conservation Area and on the setting of other designated historic assets as undertaken by Trysor in 2022 (Trysor, 2022b).

1.3 A separate document considers the heritage impact of the proposed variations on the Royal Hotel arising from the proposed development (Trysor, 2024).

1.4 The Royal Hotel is a Grade II Listed Building and identified in the Llangollen Conservation Area Appraisal as one of the "top" ten Listed buildings out of 101 listed at the time of the appraisal in 1997. The Royal Hotel lies within the Llangollen Conservation Area and in the essential setting of the Pontcysyllte Aqueduct and Canal World Heritage Site. It also lies in the Llangollen character area of the Vale of Llangollen Historic Landscape.

1.4.1 There are also two Scheduled Monuments within 150 metres of the development: Llangollen Bridge, DE029 and Pontcysyllte Aqueduct and Canal, DE175 and 53 Listed Buildings.

1.4.2 A full setting assessment is included for Llangollen Bridge (Appendix B). The Pontcysyllte Aqueduct and Canal has not been further assessed as it will not be affected by the proposed development as intervening buildings and trees block views of the development. No listed building would experience a negative impact from the development.

1.5 Site visits were made by Trysor on 22/11/2021, 07/01/2022 and previously for a slightly different proposal for the Royal Hotel on 16/05/2019.

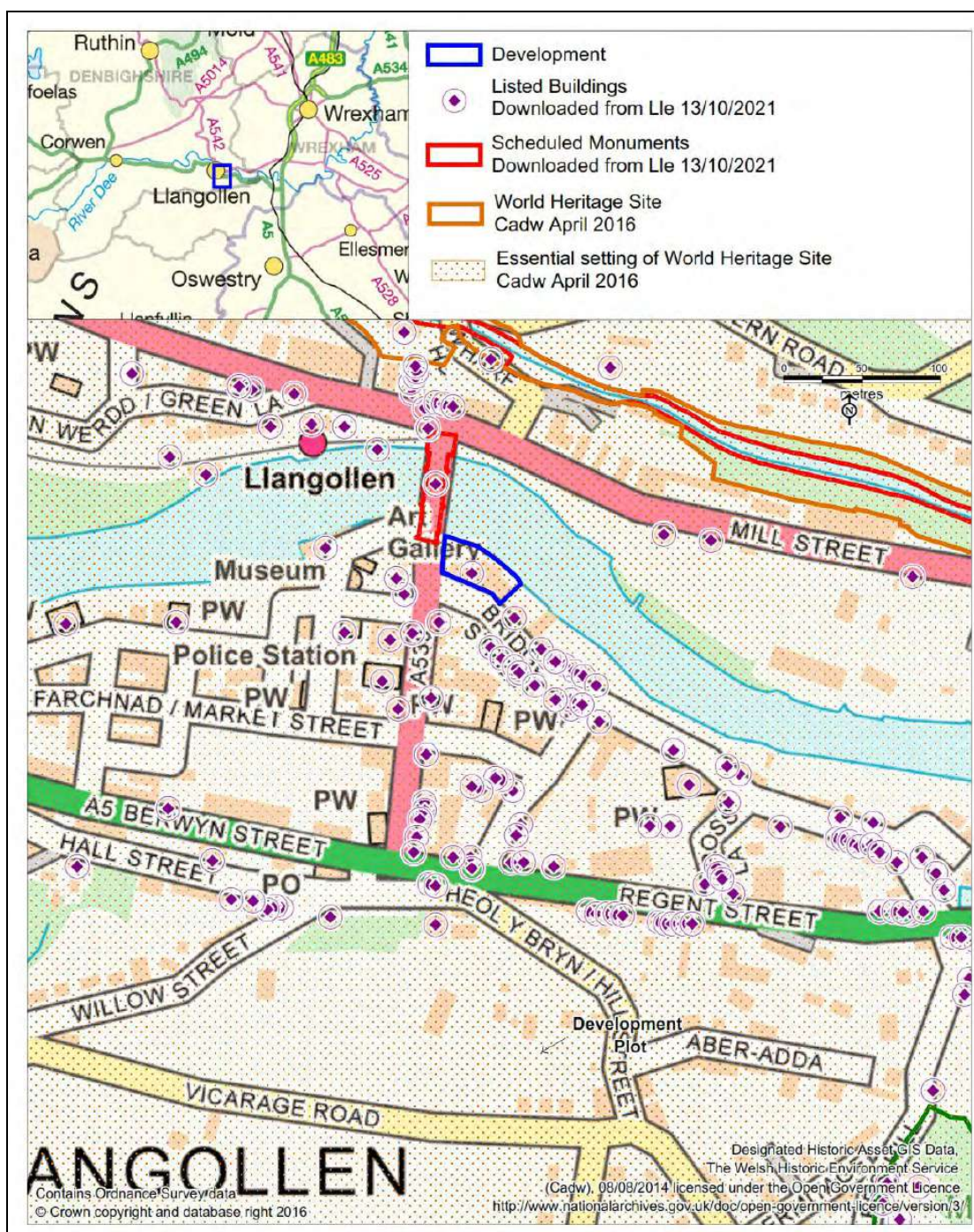


Figure 1: Location of the development site on Bridge Street, Llangollen

2. Methodology

2.1 At the request of Knights Construction Ltd, Trysor have undertaken a review of a heritage impact assessment completed in 2022 (Trysor, 2022). The 2022 report assessed the impact on the Llangollen Conservation Area, the Pontcysyllte Aqueduct and Canal World Heritage Site, and an assessment of the impact on the setting of the intervisible scheduled monuments and listed buildings, from a proposed refurbishment of the Royal Hotel, planning application 03/2022/0173 (Denbighshire) and Listed Building Consent 03/2022/0174 (Denbighshire). Planning permission and Listed Building Consent was granted in August 2022 for that scheme, but some variations to the overall scheme are now proposed. This document assesses if there is a change in impact.

2.2 The process outlined in "*Heritage Impact Assessment in Wales*" has been followed (Cadw, 2017a). This process applies to Conservation Areas as well as individual historic assets and has four stages;

Stage 1: Explain the objective and why changes are desirable or necessary

Stage 2: Understand the significance of the historic asset

Stage 3: Assess the impact of the proposals.

Stage 4: Set out the reasoning behind the preferred option, including design concepts and principles, in the light of the assessment process

2.3 In addition, Cadw's guidance "*Managing Conservation Areas in Wales*" (Cadw, 2017c) has been used to inform this assessment.

2.3.1 The impact on the settings of the scheduled monuments and listed buildings in the vicinity of the proposed development was assessed using the methodology outlined in "*Setting of Historic Assets in Wales*" (Cadw, 2017b). After initial assessment the only designated historic asset which required a full assessment was the Llangollen Bridge, (scheduled monument DE026, Listed Building 1080). Other designated assets were considered together as the change was either neutral or positive.

2.4 Levels of impact are recorded using the terms None, Very Low, Low, Medium, High or Very High. An impact can be negative or positive. Where impacts have equivalent positive and negative values, the term Neutral is used.

3. Heritage Impact Assessment Stage 1: *Explain the objective and why changes are desirable or necessary*

3.1 The objective of the proposed changes is to refurbish the now closed Royal Hotel, which is located on the northern side of Bridge Street, Llangollen.

3.2 The proposed redevelopment will enable The Royal to be brought back into use with a mix of residential and holiday accommodation.

3.3 The proposal is to undertake a full refurbishment and reordering of the hotel, creating new spaces within the interior to allow for a more organic flow through the building.

3.3.1 The existing riverside external decking will be replaced.

3.3.2 The 20th century block will be replaced with a new block of private 1- or 2- bedroomed apartments, those overlooking the river having their own private balcony.

3.3.3 Due to the historic importance of the hotel, all works will be undertaken in close consultation with CADW and the Local Authority's Conservation Officer so as to ensure sensitivity towards the existing fabric of the building.

4. Heritage Impact Assessment Stage 2: Understand the significance of the Conservation Area

4.1 The Llangollen Conservation Area was designated in 1985 covers an area of 20.4 hectares.

4.2 The Conservation Area Appraisal in 1997 was a short document that did not seek to define individual character areas within the overall area (Denbighshire Council, 1997). Instead, it gave some key characteristics of the Conservation Area which included:

- Important Open Areas
- Important Views
- Natural Landscape
- Building styles
- Building materials
- Building details
- Other Important Features
- Principal Buildings
- Problems in the Conservation Area

4.3 In 2016, Cadw undertook an Understanding Urban Character assessment for Llangollen (Cadw, 2016). This document was a more detailed assessment of the history of the town and the character of its buildings. It included a Statement of Significance (Cadw, 2016, p.71).

4.4 As well as the Statement of Significance for the overall Conservation Area it also defined 6 Character Areas (Cadw, 2016, pp 53 -70, & pp 80-86)

- 1. The Early Town
- 2. Nineteenth-Century Growth: Around Canal and Railway
- 3. Nineteenth-Century Growth: Around the Holyhead Road
- 4. Plas Newydd
- 5. Castle Street and the Western Town
- 6. The Canal

4.5 The Royal Hotel lies in Area 1: The Early Town character area to its western side, the core of the area centred around the church. It is visible from parts of Area 2: Nineteenth-Century Growth: Around Canal and Railway and from parts of Area 5 Castle Street and the Western Town.

5. Heritage Impact Assessment Stage 3: Assess the impact of the proposals on the Conservation Area (including the designated historic assets)

5.1 The proposed variations to the consented planning applications for the Royal Hotel, as viewed from Bridge Street and Castle Street areas, would be limited in scale. The colour scheme and the replacement of the roof line on the 20th century block from a flat roof to a ridged roofline will remain as in the consented applications, planning application 03/2022/0173 and Listed Building consent 03/2022/0174.

5.2 The proposed variations when viewed from Llangollen bridge over the river Dee (a listed building, 1080, and a scheduled monument, DE026) will include more physical changes. The proposed extension of the external walkway with a canopy will not now be included. The riverside façade of the new build on the rear of the 20th century block will change. The variation to the design uses white render, timber cladding and black steel cladding.

5.3 The physical and visual changes to the north side of the Royal Hotel will also be visible from parts of the area to the north of the river.

5.4 The Statement of Significance from the Understanding Urban Character has been used in order to understand and assess the change of impact from variations to the consented scheme on the conservation area. The following table (Table 1) details each sentence from the Statement and assesses the Royal Hotel in context to that and what impact there would be, if any, from the proposals.

Table 1: Impacts on the conservation area

| Statement of Significance | Royal Hotel in Context | Impact from Variations |
|---|--|--|
| Llangollen is known as a small town of handsome and substantial red brick buildings on the banks of the river Dee. | Royal Hotel lies in Character Area 1: Early Town as defined in the urban characterisation published by Cadw in 2016. Red brick buildings are not typical of this character area which contains the earliest development of the town. The buildings here are more likely to be plain-coloured render or roughcast with some enhancement of architectural detailing (quoins, window surrounds etc.). | There are no variations to the colours in the consented scheme. |
| Its highlights include the bridge, the heritage railway, the canal, Plas Newydd — the home of the Ladies of Llangollen — and the site of the Llangollen International Musical Eisteddfod. | The Royal Hotel lies adjacent to southeast end of Llangollen Bridge (DE026, 1105) and within its setting. | Under the proposed variations the new block at the eastern side of the hotel complex, replacing a 20 th century wing which has now been removed would be for housing not a spa. The variation will still be largely screened from view from the bridge, and would not be visible from its southern end. The northern side of the proposed variation does not extend as close to the river as the consented scheme and will be sheltered from most views. Overall, the impacts of the proposed variations to the consented scheme on the setting are assessed as being Neutral, ranging from Low Negative to Low Positive, but with no impact on the Significance of the bridge. |
| | The heritage railway (Listed Buildings 1083, 1082, 1084, 1085, 87500 & 87501) stops at the northwestern side of Llangollen Bridge, the Royal Hotel is adjacent to the southeastern part of the Bridge. The Royal Hotel forms part of a backdrop of views from parts of the heritage railway although with the bridge in the foreground, truncating the view. | The variation to the consented scheme will not alter views from the heritage railway. Its significance will not be affected. |

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| Statement of Significance | Royal Hotel in Context | Impact from Variations |
|---|--|---|
| | The Royal is generally not intervisible with the canal, a World Heritage Site, scheduled monument DE 026 and with listed elements. The canal is on higher ground than the Royal Hotel with buildings, many of them 3-storey, and mature trees on the slope down to the river Dee. | The canal has very partial views of the Royal Hotel from limited viewpoints. The views are so limited they cannot be seen as part of its visual setting as a scheduled monument/listed building. The Royal Hotel does lie within the Essential Setting of the World Heritage Site There would be no impact on its significance. |
| | Plas Newydd (Listed Building 1127) is not intervisible with the Royal Hotel but did have an important link as the Ladies of Llangollen patronised the Kings Head as the Royal was known at that time. The site of the International Eisteddfod is not intervisible with the Royal Hotel. | There is no impact on, or change of, setting with regard to Plas Newydd (Listed Building 1127) or the site of the International Musical Eisteddfod (non-designated historic asset). |
| Beyond these individual features lies a deeper history of an older town of winding streets and small alleys with stone and timber buildings. | The Royal Hotel lies at the southeast corner of Llangollen Bridge and the western end of Bridge Street one of the main streets of the older part of town. The Kings Head as it was known in the 18 th /19 th century is part of this older town although the earliest parts that now remain probably date to the very late 18 th / early 19 th century | The changes to the Royal Hotel visible from the older part of town are limited to views along the western part of Bridge Street, from the Three Eagles (Wynnstay) westwards. These views will be limited to the Bridge Street frontage of the Royal Hotel, where there are limited variations to the consented scheme. The main change is that gates into the Royal Hotel on Bridge Street will be removed and the gap blocked in |
| | | |
| The church was founded by St Collen in the sixth or seventh century and, although much altered, is the earliest known building in the town. | The church (Listed Building 1164) lies within the same character area, 1: Early Town, as the Royal Hotel but the two are not directly intervisible | There will be no change or impact to the church and its setting from the proposed changes. |
| It marks the early establishment of a settlement in the Dee Valley at a natural crossing point of the river on one of the main valley routes into and out of the mountainous interior | The Royal Hotel will continue to stand at the side of the post-med/modern crossing point of the river Dee. From modest beginnings as the Kings Head alongside the road from the crossing, it has developed into a large building with several phases of | The changes will maintain the presence of the hotel as a prominent building at the crossing point of the Dee. The façade alongside Castle Street will be improved with the paint removed from the decorative stonework and a new colour scheme used. |

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| Statement of Significance | Royal Hotel in Context | Impact from Variations |
|---|--|--|
| of Wales. | development | |
| Little else of this early settlement survives except for the core street pattern of Bridge Street and Church Street, and the small lanes behind with some scattered small vernacular buildings. | The proposals for the Royal Hotel do not alter the lines of Bridge Street or Church Street, or any small lanes behind buildings. | There will be no impact on or change to the street pattern of the earlier town from the development |
| This street pattern however survived and continued to exert an influence over the development of this part of the town. | The proposals respect this street pattern and do not weaken views of it | There will be no impact on or change to the street pattern of the earlier town from the development |
| | | |
| The early town remained essentially a small rural settlement through to the later eighteenth century. The restrained Georgian styles of this time are still very much evident today despite later remodelling | The core of the Royal Hotel as it is today developed in the Georgian period and is still identifiable within the hotel complex. It probably incorporates a version of the Kings Head although the smaller structure shown on the 1791 map of the holdings of the Rev. Edward Roberts. (Denbighshire Archives, DD/DM/736/1) has disappeared and probably does not survive in the structure. | The proposed variation to the consented scheme will a different design to the new build. It replaces part of a 20 th century block that was demolished when the river wall began to fail. It is modern in design but has a smaller footprint than the consented block and it set back further from the river. |
| By this time, the town and the surrounding area had become a focus for the fashionable interest in natural wild landscapes known as the Picturesque movement. | The changes to the northern façade of the Royal Hotel will be visible in views from Llangollen Bridge looking eastwards. This will include the new decking and canopy, the new build to the eastern end of the hotel and the renewed paintwork with pale tones picking out the different phases of the building. | The proposed variations will not change the consented scheme in this regard. |
| Llangollen and the Dee Valley became one of a number of areas renowned for their landscapes and the town welcomed an influx of tourists and settlers to the area. | The Royal Hotel has been an integral part of the tourist industry for over 200 years and the Ladies of Llangollen required that people visiting them stayed there | The proposed variations split the focus of the Royal Hotel into visitor accommodation and residential, but will still see this large building retained in the streetscape and offering a place to stay. |
| The visitors brought fashionable ideas on | The northern façade of the Royal Hotel, shows changes in | The impact of the proposed variations will not alter from the |

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| Statement of Significance | Royal Hotel in Context | Impact from Variations |
|--|--|--|
| architecture and design which inevitably influenced the appearance of the town and its outlying areas. | architectural design through the 19 th century | consented scheme |
| The restrained Georgian styles of this time are still very much evident today despite later remodelling | The core of the Royal Hotel is Georgian and this will remain visible and distinctive. On the northern façade the Georgian element will be picked out by slightly darker painted render but with the same-coloured architectural detail as the rest of the hotel. There will be some loss of view of the Georgian elements on the eastern façade where the new build will obstruct views to roof height. | The painted render on the northern façade will highlight the development of the hotel and in particular the Georgian element. The loss of view of the eastern façade will have limited impact as it is not generally visible. Development along the south bank of the river, the slight change in course of the river Dee, the bulk of the Llangollen Bridge and mature trees along the north bank of the Dee limit views. |
| At broadly the same time, the improvement of road links from London to Holyhead (and Ireland) followed by the construction of the railway and canal caused a surge of development. | The railway and the canal have played some part in the development of the Royal Hotel, bringing paying customers to the town. | The changes to the Royal Hotel will not affect this relationship, nor impact on the railway and canal. |
| The town now became a stopping point on a much wider transport network. | The transport network helped the Royal Hotel develop as a successful establishment. | The changes to the Royal Hotel will not affect this relationship, nor impact on the wider transport network. |
| This brought new infrastructure and activity | Past developments at the Royal Hotel were part of the new infrastructure | The proposed changes will not affect any other infrastructure and will not impact negatively on the setting of designated historic assets. |
| It enabled the development of new industries and generated demand from travellers and workers for accommodation and supplies. | Developments at the Royal Hotel were part of the new infrastructure that supplied accommodation and refreshments. | The proposed changes will not affect any other infrastructure and will not impact negatively on the setting of designated historic assets. |
| The water power of the Dee had long been used for industry but was now exploited for the production of | The Royal Hotel did not use the water power of the Dee. The cornmill to the west of the bridge is not intervisible with the Royal Hotel. | The proposed changes will not affect water power and will not impact negatively on the setting of designated historic assets. |

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| Statement of Significance | Royal Hotel in Context | Impact from Variations |
|---|---|---|
| textiles, timber and slate quarrying. | | |
| With the improved transport links, industry prospered and tourism developed and flourished. | The Royal Hotel was part of this prosperity. It has declined in recent years and the objective of the proposals are to bring back the building as a destination hotel with a modern offer, whilst retaining and promoting the historic fabric | The development will ensure that the hotel is retained as a prominent building providing accommodation and more and impacting on the general prosperity of the town and area. |
| It was during the nineteenth century that Llangollen grew into the town with which we are familiar today. | The Royal Hotel was an integral part of the development of Llangollen at in the 19 th century. It is located in a prominent position in the town at the Llangollen Bridge crossing of the river Dee, and was a short walk from the railway and canal. | The Royal Hotel and its diverse architecture reflect the process of development and change with new wings being added to meet the needs of the time at various points in its history. The proposed development is in keeping with that tradition and will ensure the viability of the business and enhance its architectural value. |
| Whole new streets were laid out in straight lines away from the lanes of the existing town. | These streets mainly lie to the south of the Royal Hotel in Character Area 5: Castle Street and the Western Town. Castle Street to the west of the hotel was built after the Royal Hotel started to develop on its current footprint. On the 1843 tithe map, the road crossed the bridge and turned to the southwest along Bridge Street. In 1860 Castle Street was built running southwards and then the development of the grid pattern to the west developed quickly. The buildings of these broad, straight streets are largely of red brick and contrast with the painted render and roughcast buildings in the winding, narrow streets of the old town. | The proposed changes to the Royal Hotel will not directly impact on the character of this area. The visible changes will be the repainting of the southern and western facades and the change in roof to a more suitable line of the 20 th century wing. The colour scheme will be similar to now a unifying pale painted render with darker detailing revitalising a slightly tired façade. |
| Often lined with large new buildings in red brick or in fashionable Gothic styles, they were distinct from their Georgian predecessors. | The buildings of these broad, straight streets are largely of red brick and contrast with the painted render and roughcast buildings in the winding, narrow streets of the old town. However, the buildings on Castle Street still retain some | The proposed changes would not directly affect the buildings in this area. The visual changes on the southern and western facades will be an improvement to the general area. |

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| Statement of Significance | Royal Hotel in Context | Impact from Variations |
|---|--|---|
| | <p>Georgian style features with symmetrical features, and painted detailing.</p> <p>The Victorian element of the Royal Hotel facing onto Castle Street, has gothic elements around the tower adjacent to the bridge.</p> | |
| Most of the major commercial and civic buildings in the main thoroughfare, Castle Street, which define the town today, date from this time. | The commercial and civic buildings in Castle Street are intervisible with the southern and western façades of the Royal Hotel | The changes to the southern and western façade are positive and will not have a negative impact on these buildings. |
| | | |
| The nineteenth-century boom faltered during the early twentieth century when most of the traditional manufacturing and local industries declined. | The Royal Hotel continued to provide a service during this period even as things changed around it. | The changes to the Royal Hotel do not affect this. |
| In their place, the town turned to its earlier role as a tourist destination. | The Royal Hotel has been part of the tourism industry since it first developed and adapted and changed with it | The Royal Hotel is one of the main hotels in Llangollen and the proposed changes will be beneficial, bringing the hotel back into use and retain this historical link. |
| The railway, which had survived in part the cuts of the 1960s, became a heritage leisure line. | The railway now only runs from the western side of the bridge, whereas formerly it ran under the bridge and along the north bank of the Dee opposite the Royal Hotel. | The Royal Hotel is only visible in some views from the railway station as the bridge stands in between the two. The changes proposed will be an improvement to the tired façade, including a refreshed paint scheme. The new build will be partially visible but is designed to be modern but reflect the surrounding architecture. |
| The canal too was brought back to life and is popular with tourists. | The canal is now separated from the Royal Hotel by buildings, often 3 storeys, and trees. | |
| The eisteddfod site was established as an international centre for music and other destinations were developed in and | The Royal Hotel is not intervisible with the eisteddfod site but does provide accommodation for people attending. | No change. |

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| Statement of Significance | Royal Hotel in Context | Impact from Variations |
|---|--|--|
| around the town. | | |
| Traces of this rich history are preserved in the street patterns and buildings, which give Llangollen its distinct character. | The Royal Hotel lies with the street patterns at the junction of the earlier town and the mid 19 th century development | The changes will not impact on the street pattern, and the refurbishment will preserve part of the heritage of the town. |
| Together, they help tell the story of the transition from a small rural town to a Georgian tourist destination and the rise and fall of a Victorian industrial boom town. | The Royal Hotel has a key part in the telling of this story | The proposed variations do not alter this. |
| Its twentieth century reinvention as a tourist centre depends on this historic character, which should be cherished and respected for the benefit of future residents and tourists alike. | The Royal Hotel is a key part of this tourism centre | Bringing it back into use which will support other elements of the tourism industry. The upgrade is sympathetic to heritage of the building, and to the surrounding setting. Other elements of the tourism offer in Llangollen will benefit. |

5.5 The conclusion from the assessment above is that the key characteristics of the Conservation Area will be still be preserved with the proposed variations.

5.6 The proposed variations to the southern façade of the hotel from the consented scheme can be summarised as follows:

5.6.1 The gates into the courtyard area of the hotel will be removed and the gap blocked up. Although the gateway may be an historic opening the gates themselves are more recent.

5.6.2 There will not be shop-front style awnings added to the ground floor of the 20th century wing.

5.6.3 Impact of variations to the southern façade;

a) The changes will remove some elements that were included in the consented scheme but they will not have a negative impact on the conservation area.

5.7 The proposed variations to the western façade of the hotel from the consented scheme can be summarised as follows:

5.7.1 There are no changes in the proposed variation.

5.7.2 Impact of the variations on the western façade.

a) None

5.8 The proposed variations to the northern façade of the hotel from the consented scheme can be summarised as follows:

5.8.3 The current boardwalk terrace will be replaced but will not have a canopy.

5.8.4 A window looking east will not be inserted at the base of the turret

5.8.5 There is a change to the new build at the eastern end of the hotel will replace the rear of the 20th century block demolished in 2021. The new block will still be at an angle to the Georgian block but will have a slightly smaller footprint. The new build is modern in design and includes similar elements to the consented design without the stone elements and projecting spurs.

5.8.6 Impact of the changes of the northern façade

a) The variations to the northern façade are variable. The history of the hotel will still be more readable, but still understood as a single entity. The terrace will be maintained as it is and any impact from the canopy will be removed. The new build will be a change from the consented scheme and is simpler and more functional, but is also set back further from the river reducing its visibility from key views.

b) The façade is intervisible with all or parts of Llangollen Bridge (DE029 & 1080), Listed Buildings 1191, 1192, 1993, 1081 and 1083 but the changes will not have a negative impact on their setting.

5.9 The proposed variations to the eastern façade of the hotel from the consented scheme can be summarised as follows:

5.9.1 Eastern façade of the Georgian elements: the variation design of the new-build block allows two windows which were previously going to be blocked to remain open.

5.9.2 The eastern façade is generally not visible from many places. Development on the southern bank of the Dee and the slight change in course of the river means there are few views from this side. The northern bank of the Dee has many mature trees which obscure most views.

5.9.3 The façade is only visible with Listed Buildings 1106. The gable of this building faces the eastern side of the Royal Hotel, and the new build will be adjacent to it with the addition in the variation of the lift/stairwell block.

6. Heritage Impact Assessment Stage 4: *Set out the reasoning behind the preferred option, including design concepts and principles, in the light of the assessment process.*

6.1 For the consented scheme Trysor and the wider team involved in the project worked through the HIA process together, refining the proposal for the best outcome for the historic environment and the client (Trysor.2022). Consultations with Cadw and the Denbighshire Conservation Officer were undertaken and fed back into the design.

6.2 As part of the earlier HIA process, Trysor were brought into the project as historic environment consultants at an early stage and examined the interior and exterior of the Royal Hotel in May 2019. This informed an unpublished report "*Royal Hotel, Bridge Street, Llangollen: History of Development*" (Trysor, 2019) which gave the hotel's history.

6.3 This initial study demonstrated that the hotel included wings of varying dates, from the late 18th century to the late-Victorian and a phase plan of the complex was created which identified Early Georgian, Georgian, Mid-Victorian and Late Victorian wings. Some outbuildings and service areas at the centre of the complex were undated but thought likely to be of Victorian or later date.

6.4 The findings of the initial Trysor report informed the subsequent proposals for the Royal Hotel. These sought to preserve and enhance the historic character of the complex and ensure that the distinctive architecture of wings of different dates is protected within the new scheme and were consented in 2022, planning application 03/2022/0173 and Listed Building consent 03/2022/0174.

6.5 Throughout the consultation and development of the proposals, attention was also given to the issue of potential impacts on the character of the Llangollen Conservation Area. Therefore, the final proposal gives full cognisance to the need to respect the character of the Conservation Area, the details of which are outlined in Table 1 of this report.

6.6 The colour scheme for the exterior of the complex as consented will be implemented in the variation proposal.

6.7 The new residential block replacing the consented scheme stand between the 20th century wing on Bridge Street and the riverbank but with a slightly smaller footprint and set back a little from the riverside. It will again follow the river and be angled away from the Georgian block, so it will not be dominant in views from Llangollen Bridge or detract from the older parts of the hotel.

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7.1 Online sources

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Appendix A: Photographs

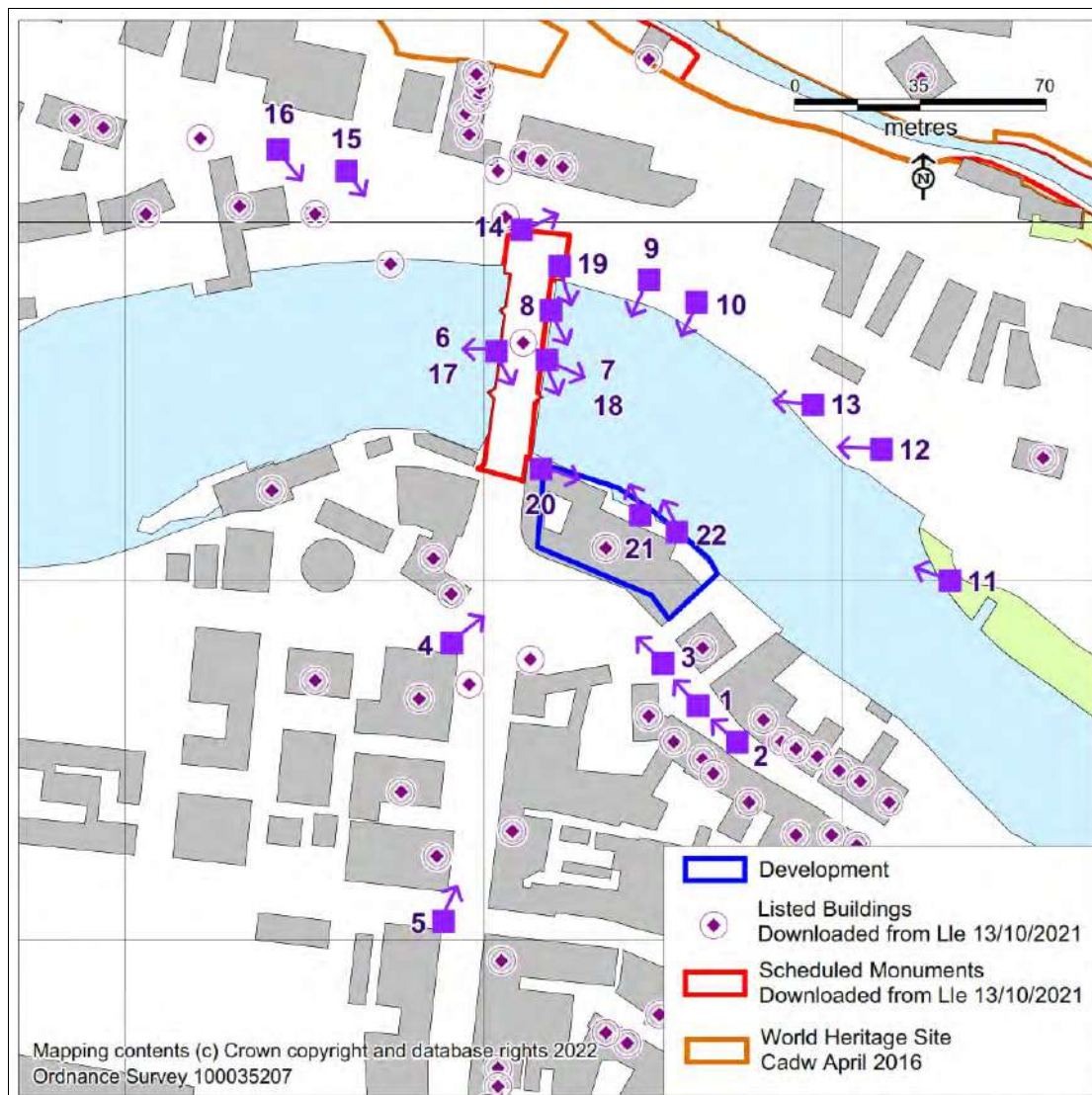


Figure 2: Location of photographs



*Plate 1: The view of the Royal Hotel from Bridge Street, May 2019
Looking northwest.*



*Plate 2: 2021. The view of the Royal Hotel taken further southeast along
Bridge Street, May 2019. Looking northwest.*



Plate 3: The view of the Royal Hotel from Bridge Street, November 2021. Looking northwest.



Plate 4: The view of the Royal Hotel from the eastern end of Parade Street, looking across Castle Street, November 2021. Looking northeast.



Plate 5: A view down Castle Street from its junction with Market Street. A partial view of the Royal Hotel is gained in the distance. The variety of colours and tones in the buildings of Castle Street is striking and draws attention to the light colours of the larger buildings either side of the river.



Plate 6: The view of the Royal Hotel from the river bridge, May 2019, demonstrates how prominent the hotel is when looking across the bridge from the north. Looking south-southeast.



*Plate 7: The view of the Royal Hotel from the river bridge, May 2019.
Looking south-southeast.*



Plate 8: The view of the Royal Hotel from the river bridge, November 2021. The variation to the consented scheme in the form of the new residential block in place of the spa will be partially visible to the left of the hotel but would not block any significant view. The loss of the tree in the same direction since 2019 has now opened up a view of the parish church tower, which will not be affected by the proposed development. Looking south-southeast.



Plate 9: A view of the Royal Hotel from the opposite side of the river Dee. Note the repairs to the riverside wall, which had partially collapsed early in 2021. The new-build residential block would be to the left, in front of the 20th century wing. Looking south-southwest.



Plate 10: A view of the Royal Hotel from the opposite side of the river Dee. The new-build residential block would be to the left, in front of the 20th century wing. Looking south-southwest.



Plate 11: A view of the Royal Hotel from the opposite side of the River Dee, November 2021. The proposed new-build residential block replacing the spa in the consented scheme would stand in front of the eastern side of the Georgian "New Hotel" wing, on the site of the former 20th century "Dee Bar" building, which was removed in May 2021. Looking west-northwest.



Plate 12: A view towards the Royal Hotel from the opposite side of the River Dee, November 2021. In general, trees and foliage obscure views of the hotel from the publicly accessible areas to the north of the river. Looking west.



Plate 13: A view of the Royal Hotel from the opposite side of the River Dee, November 2021, with the river bridge also in view. The modifications to the existing parts of the hotel would not impact negatively on this view. Looking west.



Plate 14: The buildings which face the river bridge from the north, photographed in November 2021, display varied styles of architecture and décor, not unlike the proposed exterior décor scheme for the north-facing side of the Royal Hotel. Looking east-northeast.



Plate 15: A view towards the Royal Hotel from Llangollen Railway Station, November 2021. Views from this location are partial as intervening trees screen the hotel. Looking southeast.



Plate 16: A view towards the Royal Hotel from Llangollen Railway Station, May 2019. Views from this location are partial as intervening trees screen the hotel. The new-build residential block would be obscured in views from this area as the main hotel would stand in its way. Looking southeast.



Plate 17: A view from the river bridge looking along the River Dee, November 2021. Looking west-southwest.



Plate 18: A view from the river bridge looking along the River Dee, November 2021. The proposed variation of a new-build residential block rather than a spa will reduce impacts on this view. Looking east-southeast.



Plate 19: A view of the Royal Hotel from the northern end of the river bridge, May 2019. Looking south.



Plate 20: A view from inside the hotel looking over the decking and down the river, January 2022. The canopy over the decking will not be added under the proposed variation so this view not be altered from the present. Looking east-southeast.

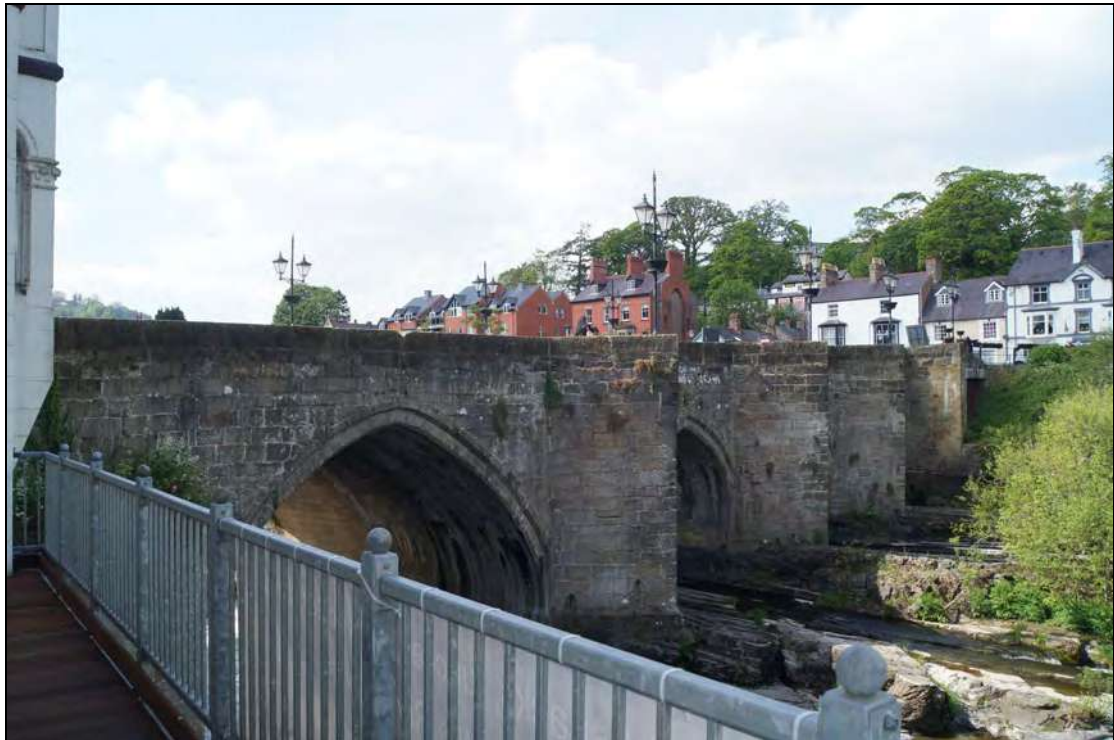


Plate 21: A view of the river bridge from the decking area at the northern side of the hotel. This view will not be lost as a result of the modifications to the decking, which will be now not be roofed and glazed. Looking north-northwest.



Plate 22: A view from the edge of the terrace in front of the former Dee Bar, which will be replaced by the decking in front of the new-build residential block. This view of the scheduled river bridge will not be lost due to the development. Looking northwest.

APPENDIX B

**SETTING ASSESSMENT NOTES
STAGE 2**

LLANGOLLEN BRIDGE

**(Listed Building Number 1080
and Scheduled Monument DE026)**

| LLANGOLLEN BRIDGE | |
|--|--|
| Stage 2: How do the present surroundings contribute to our understanding and appreciation of the historic asset today? | |
| • Thinking about when the historic asset was first built and developed: | |
| What were its physical, functional and visual relationships with other structures/historic assets and natural features? | <p>Although there is documentary evidence that a bridge may have stood here by the late 13th century and was improved during the 14th or early 15th century, the present bridge is thought to have been constructed in early post-medieval times to replace an earlier bridge. It is possible that it dates to the 1540s, based on the inclusion of "sepulchral stones" in its fabric, or to the 1650s, when one Rondle Read may have been paid £250 for work undertaken here.</p> <p>The selection of this site as a bridging point was undoubtedly made for functional reasons and dominated by the fact that this section of the river's course is characterised by bedrock outcropping in the river bed and either side of the river, giving a solid foundation for the bridge structure.</p> <p>The bridge was extended northwards in 1863 when the railway was built along the river's edge. During the 1870s it was widened, and it was widened considerably again in 1968. The present bridge is therefore a composite of early post-medieval and modern work.</p> <p>No contemporary structures or features associated with the medieval or early post-medieval bridge now survived, but it is a prominent feature at this point along the course of the river. It crosses the river at the apex of a bend in its course, which means that the bridge is only clearly visible from a stretch of some 400 metres upstream along the river to the west, and 300 metres downstream to the east.</p> |
| What topographic or | This point was undoubtedly chosen for the |

| | |
|--|--|
| earlier features influenced its location? What was its relationship to the surrounding landscape/streetscape? | original bridge as a convenient place to cross the river at a relatively narrow point which offered a solid bedrock foundation on either bank due to rock outcropping in the river bed. Later versions of the bridge were constructed here as the river was best crossed at this point and the road system would have already developed to cross here. |
| Was it constructed to take advantage of significant views or to be a part of a significant view? Although there may be a 360-degree view, some areas of the view may be more significant than others. | There is no reason to believe that the choice of this site as a bridging point was made to be part of a view or to offer a view. The choice would have been based on the functional requirements of exploiting a convenient bridging point which offered a solid bedrock foundation to any structure. |
| Has its function or use changed? | The bridge has been used to allow people to cross the river safely since it was first built. It has undergone significant changes in terms of length and width in the past 150 years however to accommodate first the railway and then the growing use of motor vehicles. |
| What changes have happened to the surrounding landscape/streetscape? | Llangollen would have been a small settlement around the parish church, to the south of the river, when the bridge was first built. The town has grown and now occupies both sides of the river, with a number of large, prominent buildings standing at either end of the bridge. The railway was built along the riverbank in the 1860s, requiring an extension to the northern end of the bridge. |
| Have changes happened because of changes to the historic asset or to its historical setting? | Changes to the present bridge have occurred to accommodate the development of rail transport and the increased use of the roads by motor vehicles in modern times, which have necessitated the lengthening and widening of the bridge. |
| Has the presence of the historic asset influenced changes to the landscape, for example, where a | The presence of the bridge has attracted development at both ends and made it possible for a significant spread of Llangollen town northwards across the river Dee. |

| | |
|---|---|
| monument has been used as a marker in the layout of a field enclosure? | |
| Has the presence of the historic asset influenced the character of the surrounding landscape /streetscape? | As above. |
| Have historic and designed views to and from the historic asset changed? | Yes. The growth of the town has seen buildings accumulate at either end of the bridge. This has changed views of the bridge. In the 18 th and 19 th centuries artistic representations of the bridge portrayed it as a romantic, relatively rural location. Since Victorian times it has become much more urban in character. |

| • Thinking about the original layout of the historic asset and its relationship to its associated landscape: | |
|--|---|
| <p>Were these relationships designed or accidental?</p> <p>How did these relationships change over time?</p> | <p>The choice of location for the present bridge was determined by the existence of an earlier bridge at a suitable bridging point of the river Dee. That relationship with the bridging point has not changed.</p> |
| <p>How do these relationships appear in the current landscape; are they visual or buried features?</p> | <p>They are visual features as the bridge remains in use, although it has been highly modified in the past century and a half.</p> |
| <p>• Are there other significant factors, such as historical, artistic, literary, place name or scenic associations, intellectual relationships (e.g. a theory, plan or design), or other non-visual factors such as sounds or smells that can be vital to understand the historic asset and its setting?</p> | <p>There are many depictions of the bridge since the late 18th century and it has been well photographed in modern times. These record the changes to the bridge and its environs through two centuries, as its once rustic setting has given way to a far more urban setting.</p> |

| Stage 2 should also identify the viewpoints from which the impact of the proposed change or development should be assessed, taking into account, for example: | |
|--|--|
| • views to, from and across the historic asset that were designed and developed when the historic asset was first created – for example, in the case of a defensive or ritual structure | <p>The bridge has always been visible from the river and riverbanks to the west-southwest and east-southeast, for a limited distance due to a bend in the course of the river. The best views of the bridge are from relatively close proximity but developments along the riverside in post-medieval times have restricted many of these views, as do the many trees which now grow along the rivers edge, both upstream and downstream.</p> |
| | <p>The best modern views of the eastern side of the bridge are gained from the Royal Hotel itself, particularly from the riverside decking along its northern side. The western side of the bridge is best viewed from Llangollen Railway Station, to the northwest.</p> |
| | <p>There are also good views along the bridge from either end, although it must be noted that the widening of the bridge in 1968-69 means that this is an essentially modern view.</p> <p>There are good views from the bridge along the river to both the east and west. These views include fine landscapes, with wooded riverbanks leading towards rising, wooded ground in the distance, with the buildings of the town seen either side of the river.</p> |
| • views to, from and across the historic asset which are linked with a time in its history – for example, a historic artistic depiction of the site | <p>Historic depictions of the bridge show views from both the west and east. Romantic views of the bridge of late 18th and early 19th century date reflect the fame of the original structure as one of the wonders of contemporary Wales, much visited by travellers visiting the north.</p> <p>Llangollen has remained a popular tourist destination to the present day and the bridge has been frequently photographed and used as an image to promote the town or as a postcard image.</p> |

| | |
|--|--|
| <p>• important modern views to, from and across the historic asset – for example, popular visitor viewing points.</p> | <p>The bridge is popular with visitors who enjoy views along the picturesque river to the east and west. Good views of the bridge structure are less easily found and mostly enjoyed by visitors to the railway station to the northwest or the Royal Hotel to the southeast. Some views can also be gained from public paths above the river to the northeast of the bridge, but trees along the river's edge screen these views to a large extent.</p> |
|--|--|

| Stage 3: Evaluate the potential impact of change or development. | | | |
|---|---|------------------------------|---|
| POSSIBLE IMPACT | COMMENT | IMPACT ON SETTING | IMPACT ON SIGNIFICANCE OF THE HISTORIC ASSET |
| The visual impact of the proposed change or development relative to the scale and location of the historic asset and its setting | The proposed change to the exterior décor of the Royal Hotel would not have a negative impact on the bridge or views from or towards it. The décor has changed over the years and the proposed redecoration conforms with this pattern. | Low Positive | None |
| | The proposed enhancement of the decking along the riverbank outside the hotel will include a canopy roof glazing. This will change views of the hotel from the bridge to some degree but will not interfere with any key views of the bridge itself, which will still be visible from the decking. Importantly, this 20 th century decking offers one of the best viewpoints of the bridge and its retention and | Low Positive | None |

| | | | |
|--|--|------------------------------|-------------|
| | <p>enhancement is a positive factor in allowing the public to view and appreciate the bridge from the east.</p> <p>The proposed new-build residential block which would be added to the eastern end of the hotel complex will be partially visible from the bridge but in a reduced capacity from the spa in the consented scheme; only decking would now extend to the river bank. The building will be slightly set back and, due to the bend in the river, will be set at an angle which ensures that more of the new wing would be hidden from view from the bridge by the main hotel buildings. Only from the northern end of the bridge will the new-build be seen more completely, but it will not block any key view, will not break the roofline of the present buildings around it, nor the skyline.</p> | <p>Very Low Negative</p> | <p>None</p> |
|--|--|------------------------------|-------------|

| | | | |
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| | | | |
| Whether the proposed change or development would dominate the historic asset or detract from our ability to understand and appreciate it – for example, its functional or physical relationship with the surrounding landscape and associated structures and/ or buried remains | As above. The proposed changes to the Royal Hotel would have a Low impact on the bridge at most and would not impact on its significance. | Neutral | None |
| The presence, extent, character and scale of the existing built environment within the surroundings of the historic asset and how the proposed change or development compares with this | The bridge stands in an urbanised environment with substantial commercial and domestic buildings visible on both sides of the river, with the Royal Hotel being the most prominent of these. The development, in terms of additional or new structures, would be modest in scale in comparison and not impact significantly on | Neutral | None |

| | | | |
|---|--|---------|------|
| | key views to or from the bridge. | | |
| The lifespan of the proposed change or development and whether or not the impact might be reversible | The proposed changes would be reversible. The hotel complex has changed over time with wings being added, modified or removed to suit contemporary requirements. | None | None |
| The extent of tree cover, whether it is deciduous or evergreen, and its likely longevity | There are numerous deciduous trees growing along the river to the east and west of the bridge. This tree cover is likely to be permanent. | None | None |
| The impact of artificial lighting – for example, on night-time views | There is already artificial lighting along the street, on the bridge and in adjacent buildings on all sides. The additional lighting from the proposed development would not represent a significant increase in lighting. | Neutral | None |
| The capability of a landscape setting to absorb change or new development without the erosion of its | The proposed changes to the Royal Hotel would be modest in scale and not significantly change the setting of the bridge or | Neutral | None |

| | | | |
|--|--|------|------|
| key characteristics | impact on the ability to appreciate and understand the structure. | | |
| The impact of the proposed change or development on non-visual elements of the setting and character of the historic asset, such as sense of remoteness, evocation of the historical past, sense of place, cultural identity or spiritual responses | The development would not take place in a tranquil or remote setting but would be an addition to a large and well-established hotel which displays a varied architecture, reflecting its complex, multi-period history. | None | None |
| The impact of non-visual elements of the proposed change or development, such as the removal or addition of noises and smell | The proposed development would not add new noises or smells to the local environment and the Royal Hotel would continue to serve the purpose it has been built for as a prominent and popular attraction for visitors to the town of Llangollen. | None | None |
| Cumulative effect of the proposed change or development — sometimes relatively small changes, can | The proposed development will not impact on the ability to understand and appreciate the river bridge. The scale of the | None | None |

| | | | |
|--|---|--|--|
| have a major impact on our ability to understand, appreciate and experience a historic asset. | development would be modest and not impact physically on the bridge or on any key views of the structure. | | |
|--|---|--|--|

Royal Hotel, Bridge Street, Llangollen Heritage Impact Statement January 2024



Report by: Trysor

For: Knights Construction Ltd

January 2024



Royal Hotel, Bridge Street, Llangollen Heritage Impact Statement January 2024

By

Jenny Hall, MCIfA & Paul Sambrook, MCIfA
Trysor

Trysor Project No. 2023/918
CPAT HER Event PRN - 215549

For: Knights Construction Ltd

January 2024

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Cover photograph: The Royal Hotel in Bridge Street, Llangollen, looking southeast.

Royal Hotel, Bridge Street, Llangollen
Heritage Impact Statement January 2024

RHIF YR ADRODDIAD - REPORT NUMBER: Trysor 2023/918

HER EVENT PRN – CPAT 215549

DYDDIAD 8^{fed} Mis Ionawr 2024 DATE 8th January 2024

Paratowyd yr adroddiad hwn gan bartneriad Trysor. Mae wedi ei gael yn gywir ac yn derbyn ein sêl bendith.

This report was prepared by the Trysor partners. It has been checked and received our approval.

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Croesawn unrhyw sylwadau ar gynnwys neu strwythur yr adroddiad hwn.

We welcome any comments on the content or structure of this report.

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He has been a partner in Trysor since 2004 undertaking a variety of work that includes heritage impact assessments, setting assessments and other desk-based appraisals and assessments, as well as evaluations, watching briefs, building recording and field survey.

Event Record PRN – CPAT HER

| | |
|-----------------------|--|
| PRN | CPAT 215549 |
| Name | Royal Hotel, Bridge Street, Llangollen Heritage Impact Assessment January 2024 |
| Type | HERITAGE ASSESSMENT |
| NGR | SJ2154042111 |
| Easting | 321540 |
| Northing | 142111 |
| Summary (English) | At the end of 2023, Trysor wrote a revision of a Heritage Impact Assessment undertaken between May 2019 and February 2022 in relation to proposals to refurbish and extend the Royal Hotel, Bridge Street, Llangollen, Denbighshire. A proposed change to part of the consented development required a revision to the original report. © Trysor 2024 |
| Crynodeb (Cymraeg) | Ar ddiwedd 2023, ysgrifennodd Trysor adolygiad o Asesiad o'r Effaith ar Dreftadaeth a gynhaliwyd rhwng Mai 2019 a Chwefror 2022 mewn perthynas â chynigion i adnewyddu ac ehangu Gwesty'r Royal, Bridge Street, Llangollen, Sir Ddinbych. Roedd angen diwygio'r adroddiad gwreiddiol ar gyfer newid arfaethedig i ran o'r datblygiad a ganiatawyd. © Trysor 2024 |
| Description | At the end of 2023, Trysor wrote a revision of a Heritage Impact Assessment undertaken between May 2019 and February 2022 in relation to proposals to refurbish and extend the Royal Hotel, Bridge Street, Llangollen, Denbighshire. A proposed change to part of the consented development required a revision to the original report. © Trysor 2024 |
| Sources | Trysor, 2024, Royal Hotel, Bridge Street, Llangollen Heritage Impact Assessment November 2024 |
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Summary

This report assesses how proposed variations to a consented planning application 03/2022/0173 and Listed Building consent 03/2022/0174 would impact on the historic fabric of the Royal Hotel.

Previously Trysor examined the significance of the Royal Hotel, Bridge Street, Llangollen (Listed Building 1105) and the impact of proposed changes upon that significance (Trysor, 2022a & Trysor, 2022b). The inn is located within the Llangollen Conservation Area, the Vale of Llangollen Historic Landscape and within the extensive buffer zone of the Pontcysyllte Aqueduct World Heritage Site. It has been listed since 1989 for its group value with other early buildings along Bridge Street.

No detailed survey of the building has ever been undertaken, but it is believed to be of Georgian origin. The earliest wing of this complicated, multi-period hotel was a smaller inn known as the King's Head inn, which flourished through the patronage of the famous Ladies of Llangollen during the late-18th century. They had close links with the inn until they passed away in the 1820s. It is said that those wishing to visit the Ladies were obliged to stay at the King's Head, therefore many prominent visitors to Llangollen frequented the place. The hotel was known as the King's Head for much of the first half of the 19th century, even after the large "New Hotel" was added to the rear of the original inn circa 1815. Further significant additions were made during the second half of the 19th century and by the 1860s the hotel was commonly known as the Royal Hotel.

A rapid internal inspection of the hotel undertaken for this assessment indicates that the entire complex has undergone significant changes over time, both internally and externally. Few original features of significance are immediately recognisable and much of its earlier fabric is hidden behind modern décor.

The Royal Hotel has been closed in since December 2019 and the building is no longer in pristine condition. The refurbishment and modernisation of the hotel is now proposed to bring it back into use, enhancing its historical importance. The proposals include the replacement of part of a late 20th century wing with a modern spa facility overlooking the river and making internal changes to the earlier parts of the hotel to make the complex suitable for modern use and to ensure it meets modern building and safety regulations. The sensitive upgrading of the hotel complex will ensure it remains in use to keeping its heritage and traditions as one of the principal hotels in Llangollen alive for a third century.

The building has undergone considerable changes during the 19th and 20th centuries when earlier refurbishments were implemented, which has created a complex arrangement of elements of different dates with many internal and external modifications, the details of which are largely hidden behind modern plaster and paint. There will be a loss of historic fabric caused by some of the

modification but the loss is proportionate and on balance the variations to the consented scheme will impact less on historic fabric. The proposed modifications offer an important opportunity to observe and record this hidden fabric as the development proceeds which will allow for a better understand the history of the building and will inform future management of the hotel.

It is suggested that a targeted building recording should be considered as an appropriate response to mitigate against the impacts of the development, the details of which are included in this report.

The chosen new colour scheme for the exterior of the complex has been discussed in detail with Cadw and the local authority Conservation Officer and will be true to the historic management of the buildings. The hotel façades on Bridge Street and Castle Street will be decorated with a light colour, with architectural detail picked out with a darker colour retaining a unified approach on this face.

The décor of the rear elevations to the north will show subtle variation, with each wing painted in a different, light colour but unified across the façades by the use of the same dark colour to pick out architectural details, doorways and windows. This will maintaining the architectural integrity and character of each wing yet make each historic phase of the complex readily identifiable and readable.

The new residential block which will stand between the 20th century facade on Bridge Street and the river bank. It will be a new, modern element, replacing the rear of the mid 20th century block. It will not be in line with the Georgian hotel but will follow the river and angle away from the Georgian block, so it will not be dominant in views from Llangollen Bridge or detract from the older parts of the hotel.

1. Introduction

1.1 This Heritage Impact Statement has been prepared for Knights Construction Ltd in relation to proposed changes to the Royal Hotel, Bridge Street, Llangollen (Listed Building number 1105), see Figure 1. The Royal Hotel was originally known as the King's Head. It has origins in the later 18th century as one of the historic inns and hotels of Llangollen town, with close links to the renowned Ladies of Llangollen.

1.2 The Royal Hotel has been closed since December 2019 and Knights Construction Ltd had consent to refurbish and modernise the property, mindful of its historic character, in order to create a destination hotel with an enhanced offer, planning application 03/2022/0173 and Listed Building consent 03/2022/0174.

1.2.1 As the market has changed it is now desirable to change part of the plans to a different offer, changing the spa area to a mix of residential and holiday accommodation.

1.3 This Heritage Impact Assessment (HIA) documents the objectives of the proposal, the significance of the building, the impact of the proposed refurbishment and the reasoning behind the preferred options.

1.3.1 A separate document considers the heritage impact on the conservation area and other designated historic assets which might be affected by the proposals. (Trysor, 2023)

1.4 The HIA methodology from Cadw (Cadw, 2017) has been worked through with the client and the project team over a period of time from May 2019 to the present day.

1.5 Trysor have studied the history of the hotel complex, undertaken two internal inspections as well as three external inspections. The phasing of the different wings of the hotel were identified and made available to the client at an early stage to inform choices. The development proposals have been prepared with that knowledge and full cognisance has been given to the history of the complex and its heritage sensitivity as a Grade II Listed Building (Listed Building Number 1105).

1.6 Trysor fed into the draft proposals for the consented development before they were finalised, and discussed each physical modification on site with the architect at that time. This included the choice of style of the exterior décor, which the client also discussed with Cadw and the local authority's Conservation Officer to ensure its acceptability. This ensured that the proposals evolved in a way that minimised impacts on the historic fabric of the complex during a time of major refurbishment.

1.7 In order to inform this report on the proposed variation to the consented application, the proposed variation plans have been considered and assessed as to whether there is no change, the change is different but has the same impact on the building fabric, or whether there is a new change. In Tables 1 to 4 new changes are highlighted.

2. Methodology

2.1 The process outlined in "*Heritage Impact Assessment in Wales*" (Cadw, 2017b) in order to assess the impacts on the historic asset has been followed.

This process has four stages;

Stage 1: Explain the objective and why changes are desirable or necessary

Stage 2: Understand the significance of the historic asset

Stage 3: Assess the impact of the proposals.

Stage 4: Set out the reasoning behind the preferred option, including design concepts and principles, in the light of the assessment process

2.2 In order to inform this process, Trysor made two site visits to examine the interior of the Royal Hotel at SJ2154042111. The first was made May 16th, 2019 for Knights Construction Ltd. The second was made on January 7th, 2022, accompanied by architect James Pass of C4 Projects. Full access was granted to the building and a non-intrusive, visual survey was undertaken of those parts of the building which would be subject to significant change under the proposed refurbishment.

2.2.1 The details of the proposed changes to the hotel complex were discussed during and after each of these site visits, focused on the potential impacts on the historic fabric of the complex. Discussions informed the developing proposals and alterations made if necessary.

2.2.2 A photographic record of relevant features inside the hotel was made for the purposes of this report only. This examination does not amount to a building survey, as outlined in guidance (Historic England, 2016).

2.2.3 During both site visits, and a third visit to Llangollen on November 22nd 2021, the exterior and setting of the hotel were also assessed by Trysor.

2.2.4 No alterations have taken place to the hotel yet under the consented planning application and listed building consent and the information gained at those visits has been used for this revised heritage impact assessment.

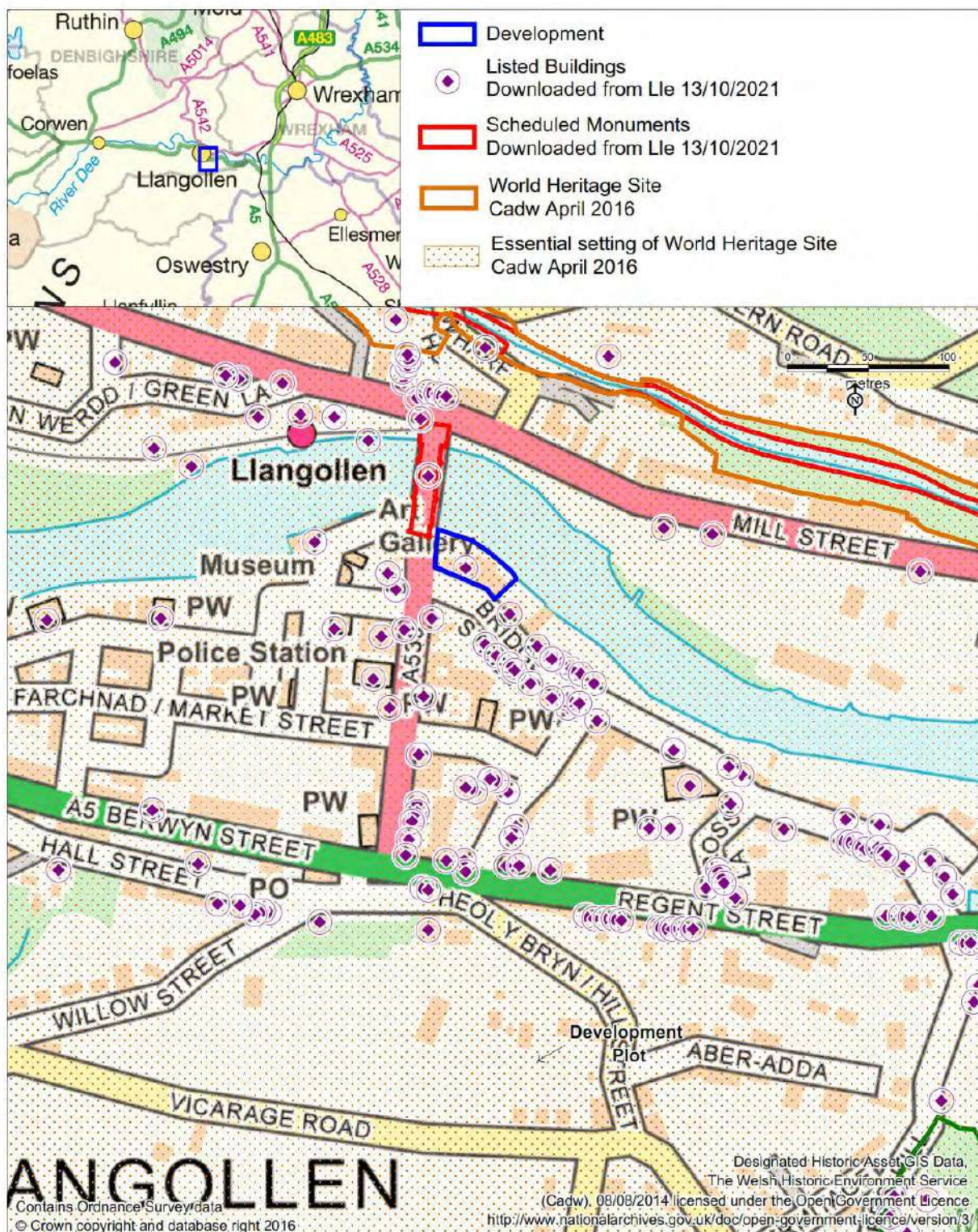


Figure 1: Location of the Royal Hotel, Bridge Street, Llangollen at SJ2154042111, showing listed buildings, scheduled monuments and the World Heritage Site within Llangollen.

3. Heritage Impact Assessment Stage 1: *Explain the objective and why changes are desirable or necessary*

3.1 The objective of the proposed changes is to refurbish the now closed Royal Hotel, which is located on the northern side of Bridge Street, Llangollen.

3.2 The proposed redevelopment will enable The Royal to become a destination hotel with an upgraded offer which will in turn assist in boosting the local economy.

3.3 The proposal is to undertake a full refurbishment and reordering of the hotel, creating new spaces within the interior to allow for a more organic flow through the building.

3.3.1 The existing riverside external decking will be replaced.

3.3.2 In the proposed variation the new-build will be for private 1- or 2-bedroomed apartments with each having its own private balcony to look out across the scenic riverside view.

3.3.3 Due to the historic importance of the hotel, consultation by the project team with CADW and the Local Authority's Conservation Officer helped inform the HIA for the consented scheme, and this revision to the HIA, to ensure sensitivity towards the existing fabric of the building.

3.4 This assessment has used the consented demolition drawings:

- GA Sub-Basement & Basement Demolition Plan as Proposed (Drawing No. 20115-C4P-AV-B1-DR-A-1301 Rev P1) - Received by LPA 22 February 2022
- GA Ground Floor Demolition Plan as Proposed (Drawing No. 20115-C4P-AV-00-DR-A-1302 Rev P1) - Received by LPA 22 February 2022
- GA First Floor Demolition Plan as Proposed (Drawing No. 20115-C4P-AV-01-DR-A-1304 Rev P1) - Received by LPA 22 February 2022
- GA Second Floor Demolition Plan as Proposed (Drawing No. 20115-C4P-AV-02-DR-A-1305 Rev P1) - Received by LPA 22 February 2022
- Roof Demolition Plan as Proposed (Drawing No. 20115-C4P-AV-R1-DR-A-1305 Rev P1) - Received by LPA 22 February 2022
- GA External Elevations Demolition Plan as Proposed Sheet 01 (Drawing No. 20115-C4P-AV-ZZ-DR-A-1307 Rev P1) - Received by LPA 22 February 2022
- GA External Elevations Demolition Plan as Proposed Sheet 02 (Drawing No. 20115-C4P-AV-ZZ-DR-A-1308 Rev P1) - Received by LPA 22 February 2022
- Internal Courtyard Sections as Existing and Demolition (Drawing No. 20115-C4P-AV-ZZ-3D-A-1309 Rev P1) - Received by LPA 22 February 2022

3.5 It also used the revised drawings for the changes to the proposal:

- TY-1329-PL03-PROPOSED FIRST FLOOR PLAN.pdf
- -1329-PL04-PROPOSED SECOND FLOOR PLAN.pdf
- TY-1329-PL05-PROPOSED ELEVATIONS.pdf
- TY-1329-SU01-EXISTING BASEMENT FLOOR PLAN.pdf
- TY-1329-SU02-EXISTING GROUND FLOOR PLAN.pdf
- TY-1329-SU03-EXISTING FIRST FLOOR PLAN.pdf

- TY-1329-SU04-EXISTING SECOND FLOOR PLAN FRONT ELEVATION.pdf
- TY-1329-SU05-EXISTING ELEVATIONS.pdf
- TY-1329-PL01-PROPOSED BASEMENT FLOOR PLAN.pdf
- TY-1329-PL02-PROPOSED GROUND FLOOR PLAN.pdf

3.5 The above drawings were compared with new drawings for the proposed variations from the client:

- TY-1329-PL01 Proposed Basement Floor Plan
- TY-1329-PL02 Proposed Ground Floor Plan
- TY-1329-PL03 Proposed First Floor Plan
- TY-1329-PL04 Proposed Second Floor Plan
- TY-1329-PL05 Proposed Elevations

- TY-1329-SU01 Existing Basement Floor Plan
- TY-1329-SU02 Existing Ground Floor Plan
- TY-1329-SU03 Existing First Floor Plan
- TY-1329-SU04 Existing Second Floor Plan Front Elevation
- TY-1329-SU05 Existing Elevations

4. Heritage Impact Assessment Stage 2: Understand the significance of the historic asset

4.1 The 18th century: The King's Head

4.1.1 The origins of the Royal Hotel appear to lay in the 18th century, possibly earlier, but are not recorded. It is not known if the site of the present hotel was occupied by an inn known as the King's Head during this period. The earliest reference to an inn of that name dates to 1752, when a King's Head was listed in the Register of Alehouses for Llangollen.

4.1.2 A lithograph of Llangollen Bridge by Jukes and Walmsley published in 1794 shows the site of the present hotel but does not show any building recognisable as the Kings Head, see Figure 2. A building shown close to the southern end of the bridge appears to be on the site of the present hotel but this was probably removed during the 19th century and no trace of it now survives. This building is probably the one shown on a 1791 estate map of Llangollen (Cadw, 2016, p.75).

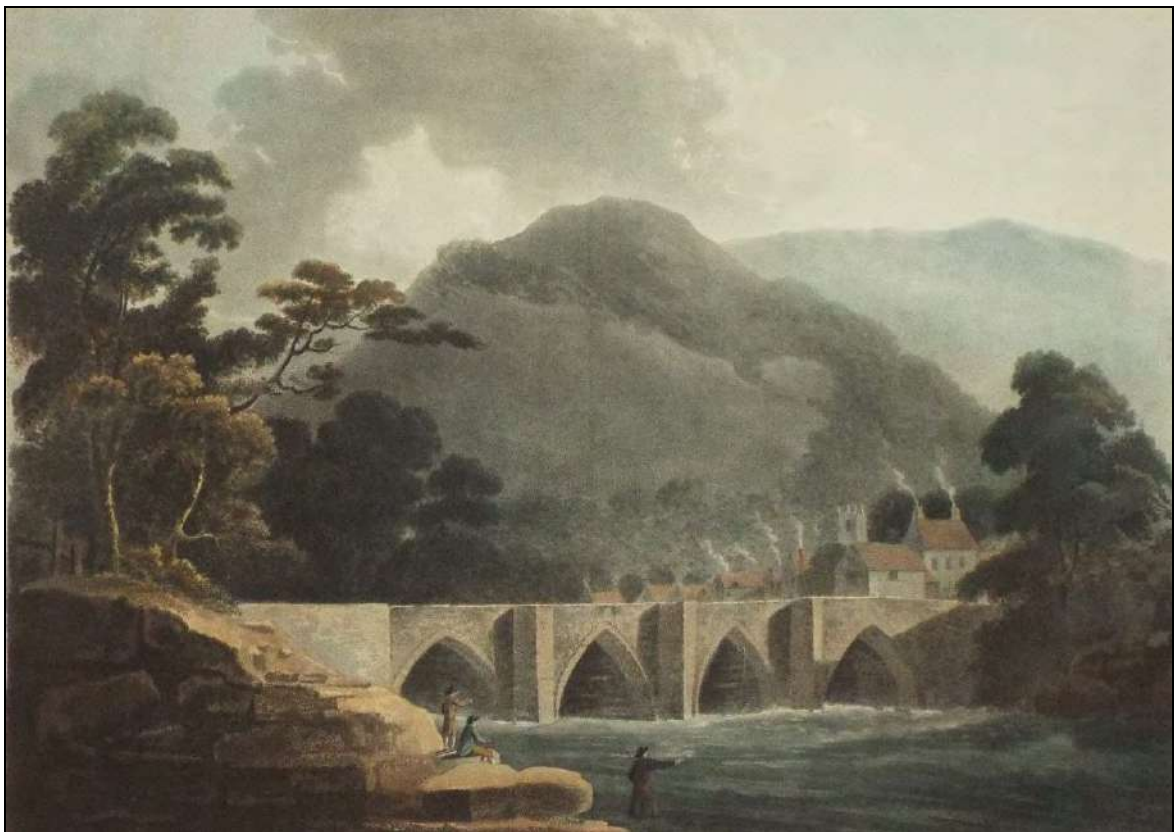


Figure 2: Llangollen Bridge, a lithograph by Francis Jukes and Thomas Walmsley, 1794. This depiction appears to be accurate as it corresponds with a 1791 Survey of Llangollen reproduced by Cadw in "Llangollen - Understanding Urban Character" (Cadw, 2016, p.75). This shows that the Kings Head seen on later maps had not been built as late as the early 1790s. The single building at the end of the bridge is on the site of the present hotel and may represent a forerunner of the Kings Head.



Figure 3: Llangollen Bridge, by J. Widnell and based on an original drawing by Edward Dayes, dating to 1796. This shows a similar arrangement at the site of the King's Head/Royal Hotel compared to the Jukes and Walmsley image of 1794, with a building next to the bridge at its southern end. The building to its left with the tall chimneys might stand on or close to the 19th century site of the King's Head.

4.2 The early 19th century: The Ladies of Llangollen and Expansion

4.2.1 The King's Head was undoubtedly a busy inn at the beginning of the 19th century. Regular auctions and sales were advertised here and an important connection to the famous Ladies of Llangollen had evidently developed. The "Ladies" were Lady Eleanor Butler and Sarah Ponsonby, who had moved to Llangollen in 1778 and had established their home at Plasnewydd, at the edge of town. By the end of the 18th century, they had become something of an object of curiosity and many visitors came to Llangollen to visit their eccentric home and the beautiful gardens they had created there.

4.2.2 The King's Head became an important link between the rather reclusive Ladies and the outside world. The exact nature of the link is not certain, but it was evidently significant. Captain Jenkin Jones visited the inn in 1819 and recorded that *"The inn was started in opposition to the Hand by the Lady Butler and Hon. Miss Ponsonby having taken offence at the disinclination of the landlord of the Hand to meet the general wish of visitors by keeping a Harper. Here I was received by Mary's favourite Welsh tune, 'The March of the Men of Harlech'".*

4.2.3 The reference to a harpist is interesting as it was evidently common for harpists to be employed by the local inns to entertain visitors during this period. The composer Felix Mendelssohn stayed at the King's Head early in the 19th century and complained bitterly about the standard of music played by the harpist. He was one of many celebrated figures who came here during the early 19th century, many drawn by the opportunity to visit the celebrated Ladies of Llangollen, who had put the town on the map.

4.2.4 The matter is also touched upon in the diaries of Anne Lister of Shibden Hall, Halifax, Yorkshire, who came to Llangollen with her aunt in July 1822 with the intention of visiting the Ladies. Lister is remembered as "Gentleman Jack" and has been the subject of a BBC drama series. She stayed at the King's Head and made some interesting notes during her stay. She refers to the inn as "the King's Head, New Hotel, Llangollen, patronized by Lady Eleanor Butler and Miss Ponsonby..." Lister also records that anyone wishing to visit the Ladies of Llangollen was expected to stay at the King's Head and send a note to Plasnewydd to inform the Ladies that the visitor wished to visit them or their house and gardens. A return note would be delivered to the King's Head by the Ladies to confirm the details of the visit.

4.2.5 This account is backed up by a reference contained in Volume 1 of the British Magazine of 1830. An anonymous traveller who had visited them at their home at Plasnewydd wrote; *"In order to assist the family of a person who had served them, she (Lady Eleanor) established them in an inn in the village of Llangollen and caused it to be understood that they would admit no visitors who did not stop at that house. The first question Lady Eleanor asked me, was, what inn I had put up at. I was aware of the question, and able to give a*

satisfactory answer. "It is well," said she, smiling, "or we would not have let you in!"

4.2.6 Lister's reference to the "King's Head, New Hotel" undoubtedly refers to the fact that the inn had been expanded considerably in 1815 when a large Georgian hotel had been constructed on the site (see Plate 3, 4 & 5). The property was a part of the wealthy Llantysilio estate of Thomas Jones at the time of the expansion. The Ladies corresponded with Thomas Jones and his daughter regularly and in September 1815 they sent a letter to Miss Jones which makes reference to her fathers "kind and liberal conduct towards them with respect to the King's Head Inn". The significance of this comment is not known.

4.2.7 Thomas Jones died in 1821 without leaving a will. The Llantysilio estate soon came into the possession of a Major Harrison. In 1827 the Ladies of Llangollen wrote to the major to draw his attention to "a heap of rubbish in the way of carriages etc., in the street before the King's Head Inn at Llangollen and hoped that it could be removed "without inconvenience" to Major Harrison. This letter again suggests that the Ladies of Llangollen had maintained a keen interest in the affairs of the King's Head.

4.2.8 Although the King's Head was a property belonging to the Llantysilio estate, it was leased to one Joseph Davies during this period. In June 1815, Joseph Davies placed an interesting advert in the Chester Chronicle, which *"begs leave most respectfully to inform the Nobility, Gentry and public in general, that he always has a well stored larder, the choicest of Wines and Spirituous Liquors and excellent Malt Liquor"*. The advert also states that the hotel has *"well aired Beds, commodious Stables, Lock up Coach Houses, and careful Ostlers."*

4.2.9 It is probable that the advert was placed by Joseph Davies around time of the expansion of the King's Head with the intention of reminding regular clientele of the qualities of the place. This was the time that the "New Hotel" was built alongside the old King's Head. This fine Georgian building still forms a substantial part of the modern hotel and appears as a prominent building in many prints of Llangollen and its famous bridge during the middle part of the 19th century. It consists of a square, three-storeyed building with cellars which overlooks the river Dee to the north, see Figures 4, 5 and 6.

4.2.10 Adjacent to the southern side of this large hotel block is a narrower, three-storeyed building, again with cellars, which included the main entrance to the hotel. It is possible that this building is in fact older than the 1815 "New Hotel" although it is impossible to judge on present evidence whether this is the case.



Figure 4: A view southeastwards from Llangollen Bridge in 1830, by T. Tunbridge, shows the large Georgian building "New Hotel" overlooking the River Dee to the far right of the image.



Figure 5: A depiction of the King's Head by W. Crane, dating to 1835. This shows again the large Georgian hotel built here in 1815 – the "New Hotel" mentioned by Anne Lister. The narrow building at the far-left side of the image is probably the earlier King's Head building, facing Bridge Street and still includes the main entrance into the modern hotel.

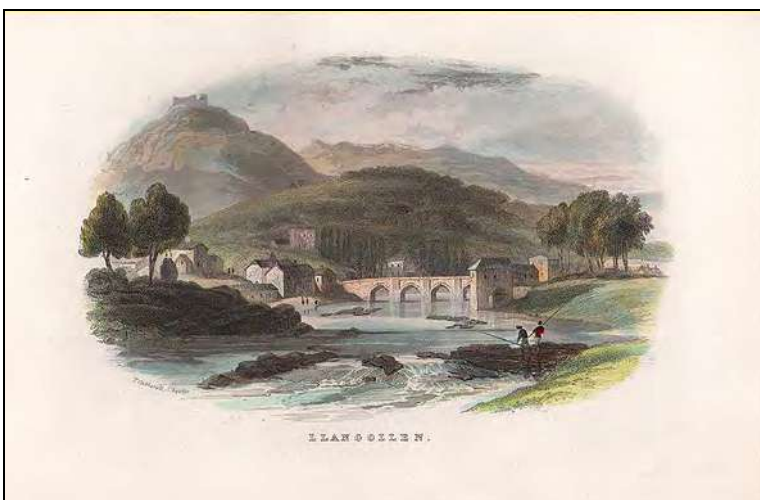


Figure 6: A depiction of Llangollen in 1837 gives another representation of the buildings at the King's Head, to the right of the bridge. It may be a copy of an earlier print as the earlier King's Head building is shown but not the "New Hotel" added in 1815.

4.2.11 Joseph Davies passed away in 1822 and his will shows that his possessions went to his wife, Elizabeth Davies. She took on the management of the King's Head for the next phase in its history. In 1824 she married one Robert Lloyd, and the couple ran the hotel until Robert Lloyd's death in 1845. Elizabeth Lloyd was widowed for the second time but continued to run the King's Head until her own death in 1854. Her will shows that the hotel was left to her two sisters, the son of one of whom, Thomas Davies, managed the business during the 1860s.

4.2.12 The Lloyds managed the King's Head during an important time in the history of the inn. In 1832, Princess Victoria, the future Queen briefly visited Llangollen and stopped at the King's Head. The visit was exceptionally brief and the royal party merely stopped to change the horses for their carriages. Nevertheless, it is generally said that this visit resulted in the name of the inn being changed to the Royal Hotel.

4.2.13 The change of name from the King's Head to the Royal Hotel may indeed have been inspired by the visit of Princess Victoria, but it was by no means a rapid change. The inn is listed as the Kings Head and Royal Hotel in Pigot's Trade Directory of 1835, but it continued to be commonly known as the King's Head for many years afterwards. When Robert Lloyd died in 1845 his will stated that he was of the King's Head. Elizabeth Lloyd died in 1854 and at this point newspapers begin to refer more regularly to the inn as the "King's Head Royal Hotel" (Chester Chronicle, April 8th 1854) or the Royal Hotel (Wrexham Advertiser, March 3rd, 1855). The King's Head is still encountered in newspaper references throughout the 1850s, although the name "King's Head and Royal Hotel" appears to also have been in use through the mid-19th century. In 1867 the place is called the Royal King's Head Hotel (Manchester Courier and Lancashire General Advertiser, September 18, 1867). By 1880 the use of the name Royal Hotel appears to have replaced the use of King's Head completely and the 1881 parish census records the property simply as the Royal Hotel.

4.2.14 Another possible change in the character of the King's Head during the 1830s may be that it became a coaching inn. Stables and coach lock-ups were advertised here by Joseph Davies as early as 1815 but it is notable that the 1832 Pigot's Trade Directory names only the Hands Hotel as a coaching inn in Llangollen. The 1835 edition of Pigot's Directory again names the Hands Hotel as a coaching inn, but also states that the London coach known as *Nimrod* called at the King's Head and Royal Hotel every day at half-past three. The Hands Hotel and the King's Head are both listed as Posting Houses in 1832 and 1835. Posting Houses were places where horses or coaches could be hired and mail also dropped off for delivery.

4.2.15 The Llangollen parish tithe survey of 1840 maps the Kings Head and Royal Hotel as it was during the time of Robert and Elizabeth Lloyd, see Figure 7. The tithe map shows a range of buildings around a central courtyard, similar

to the present layout, but the buildings which stood within the complex have certainly changed dramatically since that time. It is likely that the buildings closest to the bridge forming the western part of the complex were all replaced later in the 19th century. They can be seen on early photographs to have been low buildings, possibly stables and related buildings, see Figure 8. On the tithe map the hotel is shown in parcel number 81. Parcel number 82 to the south side of Bridge Street (now the area of the War Memorial Garden) was an area of pasture owned by Robert Lloyd. It is possible that horses were stabled in this area.



Figure 7: An excerpt from the parish tithe map showing the King's Head and Royal Hotel (parcel 81). Parcel 82 was an area of pasture owned by Robert Lloyd of the King's Head.



Figure 8: The King's Head and Royal Hotel complex (ringed) from a rare aerial view of Llangollen, presumably taken from a balloon, said to date to 1859. Note the tall Georgian buildings at the eastern part of the complex and the low buildings closer to the bridge. The latter buildings were removed later in the 19th century. This is probably close to the arrangement shown on the 1840 tithe map.

4.3. A New Identity and Further Expansion: Later Victorian times.

4.3.1 With its identity firmly established as the Royal Hotel, the history of the establishment from the time of the 1859 aerial photograph onwards can be traced through photographs as well as maps and documents. This is a period when the modern hotel truly begins to take shape.

4.3.2 Without doubt, the most significant development in this period was the construction of a whole new section of the hotel along what is now Castle Street, close to the river bridge. The tithe map shows us that Castle Street did not exist in the mid-19th century, but by the 1870s there had been some key changes made to the streetscape in this area.

4.3.3 The 1874 1:2500 scale Ordnance Survey map shows that the layout of the hotel had changed, see Figure 9. Castle Street had appeared and along its eastern side a new wing of the hotel had been built, running from the bridge to the junction with Bridge Street and around the corner along the northern side of Bridge Street to join up with the previously existing Georgian building at the main entrance to the hotel.



Figure 9: An excerpt from the 1874 1:10560 Ordnance Survey map. The hotel by this time is closer to its present arrangement, with the new wing added around 1870 shown along Castle Street and its junction with Bridge Street. Castle Street was a new road and the river bridge had been widened by this time.

4.3.4 The addition of the Victorian wing to the western side of the complex seems to have followed the sale of the Llantysilio estate in 1867. The auction was held at the "Royal King's Head Hotel" and included the sale of the hotel itself. Within a few years, certainly by the time the 1874 Ordnance Survey map had been surveyed and drawn, the addition had been completed. It is thought that the same architect was used as designed the new Town Hall, which stands nearby on the west side of Castle Street (visible on the map in Figure 9).

4.3.5 The addition of the Victorian wing gave the Royal Hotel a new focus, as the elaborate architecture formed a striking feature when viewed from the

north and the river bridge. The Georgian hotel was now hidden from view from the west for the first time since it was constructed, although it still retained its grandeur and was also still the main entrance to the hotel.

4.3.6 Two interesting photographs reflect the changes of this period. The first dated to around 1870 shows the old Llangollen Bridge before it was widened in 1873, see Figure 10. At the edge of the photograph the end of the old building attached to the King's Head and Royal Hotel is just visible. The impact of the new Victorian wing on views at that end of the widened bridge is evident when the early photograph is compared with the scene presented in the second photograph, see Figure 11, which is undated but is presumed to date to the period around 1890.



Figure 10: A photograph of the bridge around 1870 with the single-story building of the Royal Hotel to the right-hand side.



Figure 11: A photograph of the bridge from the opposite side of the river taken around 1890 and showing the three-storey, Victorian wing of the hotel occupying the position of the former low building. The low, windowless building to its left in the photograph may well be shown on late 18th century prints. To the left of this is a structure which is shown in Figure 8 but appears to have had an additional storey added or been completely replaced. Note that the Victorian building along Castle Street has dormer windows but no downstairs windows and the first-floor windows are blind. This part of the Victorian hotel was changed significantly in the early 20th century.



Figure 12: A view looking westward towards the bridge, dating to 1890, shows the low building adjacent to the Victorian wing of the Royal Hotel was still in place. Note that there is no riverside balcony at this time and the foundations of this part of the hotel define the edge of the river.



Figure 13: Another westward view, dating to 1900, shows that the old building shown in Plate 11 has been replaced by a new section to the hotel, which has a tower with a conical roof, helping it blend in with the Victorian wing of the 1870s.



Figure 14: The Royal Hotel in 1937, with its northern façade now instantly recognisable when compared to the modern building. The most modern extension would not be added until the 1960s, when a new wing was added to the eastern side of the Georgian hotel. The riverside decking had also not yet appeared at this stage and garden panting can be seen in front of the Georgian part of the hotel. Modern doors have now replaced the windows seen centre left in the image at the lower level of the building below the Royal Hotel sign.

4.3.7 The northern side of the hotel, visible from the river bridge and the north bank of the river has always been the most photographed and painted part of the establishment, despite the fact that the main entrance has always been to the southern side of the building, on Bridge Street. Few images of the southern side of the hotel are known, none of which appear to survive from the pre-photographic era. One important photograph, which probably dates to the period around 1890-1900 shows the hotel when viewed from Castle Street, looking at the junction of Castle Street and Bridge Street, see Figure 15. This shows the southern and western sides of the Victorian range of c.1870 as well as the façade of the Georgian hotel, where the main entrance was and remains located.



Figure 15: The southern side of the Royal Hotel c.1890-1900. This is a rare view of this side of the hotel in earlier times. It shows the southern side of the Georgian hotel, including the main entrance, to the right. The rest of the building dates to c.1870, including the large doorway giving access to the courtyard inside the complex. There have been key changes since the photograph was taken. A modern extension was added to the Georgian hotel, at the extreme right of the photograph. The windowless and doorless ground floor to the left was changed during the early decades of the 20th century (see Figure 16).



Figure 16: The hotel viewed from the opposite side of the river Dee. This view dates to 1920 and shows how the western side of the Victorian wing had been changed in the early 20th century. The previously windowless ground floor facing Castle Street has had three windows and a door added. The two blind windows of the first floor had been replaced by four new windows and the two dormer windows which were on the second storey had been removed and replaced by four windows also (see Figure 15 for former view). The décor of the northern façade is different for different phases of the building.



Figure 17: Viewed from the river bridge in 2019, the western side of the hotel along Castle Street is seen to have been further changed in modern times, with a streetside café operating. The ground floor windows are now large, shop-front type windows. This change appears to date to the later 20th century, certainly post-1960, based on photographic evidence. The external décor of the northern façade was now uniform.



Figure 18: The southern side of the Royal Hotel in 2019. The three sections seen here include a modern wing to the right, the Georgian hotel façade with main entrance in the centre and the southern end of the Victorian wing, beneath the surviving dormer windows, to the left.



Figure 19: The façade of the Georgian hotel in 2019.



Figure 20: A view of the southern side of the Royal Hotel in 2019, looking north from the War Memorial Garden.



Figure 21: A view of the Royal Hotel from Castle Street. The four dormer windows of the Victorian wing are prominent but there were originally six, as two identical windows were originally present in the roof to the left of the photograph.



Figure 22: The streetside café in Castle Street. Because of the loss of the dormer windows and the insertion of the shop windows and upstairs windows this section of the Victorian building no longer blends into the sections to the left or right, which were built at the same time.



Figure 23: The mock-Gothic architecture of the section of the Victorian hotel at the end of the bridge stands out as the most elaborate and eye-catching part of the modern hotel complex. Undoubtedly this was a conscious decision by the architect as this is the part of the building closest to the bridge and most viewed by visitors.



Figure 24: The popular view of the hotel, seen from the bridge. The Georgian Hotel of 1815 stands to the left. The late Victorian addition bears the name of The Royal to the centre, where a pair of modern doors have replaced earlier windows to give access to the modern riverside decking. The Gothic architecture of the 1870 wing is seen to the right, adjacent to Castle Street.



Figure 25: The Royal Hotel viewed from the opposite side of the river in November 2021. The rear section of the 20th century wing of the hotel had been removed during May 2021, leaving the space seen to the left side of the hotel here.



Figure 26: A view of the hotel from the opposite riverbank in November 2021. The 20th century wing has been removed, revealing the western side "New Hotel" of 1815 although many of the openings are of more recent date. This space will be filled again by the proposed spa building.



Figure 27: A ground floor plan of the hotel showing the phases of the complex as presently understood.

4.4 Statement of Significance

4.4.1 The Royal Hotel is a substantial hotel complex which contains distinct sections which date from the late 18th century to the later 20th century. The architecture of the complex reflects this multi-period heritage, with characteristic Georgian elements found adjacent to Victorian and 20th century additions.

4.4.2 The hotel is situated in a prominent, riverside location, adjacent to the historic Llangollen Bridge on the River Dee. The crossing has medieval origins and the current bridge probably has its origins in the 16th or 17th centuries and is protected as a scheduled monument, DE026, and a listed building, 1080.

4.4.3 The hotel complex is designated as a listed building, 1105. It is considered of national importance for its group value in the context of its proximity to other commercial buildings of 18th and 19th century origin along Bridge Street and Castle Street. Despite many modifications to the complex being made during the 19th and 20th centuries, the hotel has high architectural interest as different parts of the complex reflect the architecture of different periods, from the Georgian through to the very Late Victorian.

4.4.4 The heritage value of the hotel is high because of its association with a number of important historic figures. Most notable is its early association with Eleanor Butler and Sarah Ponsonby, the famous "Ladies of Llangollen", who patronised the original inn, the King's Head, at this location in the later 18th century. A strong tradition has it that those who came to Llangollen in the hope of visiting the Ladies of Llangollen in the late 18th and early 19th century were obliged to stay at the Kings Head, which the Ladies supported until their deaths in the 1820s. Later visitors to the Kings Head included figures such as the composer Felix Mendelssohn (1829) and the Princess Victoria (later Queen Victoria) who appears to have stopped briefly here to change horses during a visit to North Wales in 1832.

5. Heritage Impact Assessment Stage 3: Assess the impact of the proposals.

5.1 Basement and Sub-Basement Level (see Tables 1a & 1b and Plan 1)

The Basement of the Royal Hotel is not truly subterranean, although it lies below the street level of the adjacent Castle Street and Bridge Street. It forms the lower floor of the Victorian parts of the complex, opening onto the central courtyard (which is accessed via a ramp leading down from Bridge Street). The Sub-Basement is a subterranean area accessed via steps leading below the western side of the "New Hotel" built circa 1815 and is located beneath the Georgian parts of the complex, including the original Kings Head and the "New Hotel". It also extends beneath the extension to the western end of the original Kings Head building which may date to the earlier phases of the hotel at its lower levels.

5.1.1 Overview of proposed changes. The proposed works mainly include the removal of some wall sections and the infilling of others, predominantly in the Victorian and Georgian areas of the complex. In two areas there would be modifications of existing stairs to improve access. The modification B2 would impact on the stairs which lead from the mid-Victorian section at the northwest corner of the hotel down into the later Victorian section. B24 would see modifications to the stairs used to give access to the Georgian basement beneath the "New Hotel". Discussions as to how to limit impact in these areas have fed into the proposal. The date of each of these stairs is not known and they may be non-original features or have been modified during the 20th century, removing any original fabric. Watching briefs at both locations would help establish their origins and record the character of any presently hidden original details but there is no objection to the modifications themselves.

5.1.2 The overall loss of wall fabric is not considered significant, and there is not a loss of original features as far as the building is understood. On balance, the variations proposed to the consented planning application involve less change than the original and no new major change is proposed. Many of the proposed changes will affect walls which are undated and not understood, as their fabric is presently obscured beneath paint and plaster.

5.1.3 However some of the proposed changes will affect walls which are undated or not understood, as their fabric is presently obscured beneath paint and plaster. To mitigate against any loss of original fabric, a watching brief on works, where relevant, would help gain a better understanding of the history of the complex and enable presently undated walls and features to be dated through physical inspection, including the analysis of mortar and brick samples. This will help add to the record of the history of the hotel and inform future management of the building.

Table 1a: Basement Details

| Trysor Number | Date of fabric | Type of Change | Description of Change | Trysor Mitigation/Comment |
|-----------------|--------------------------------------|----------------|--|--|
| Basement | | | | |
| B1 | Mid-Victorian | D3 | New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. | Record fabric before removal. This wall has been changed in the past with new openings inserted. |
| B2 | Victorian and/or Modern | D5 | Existing Non-Original staircase to be removed to allow for installation of new staircase layout | Modification to stairway. The date of the stairs is not clear and there is a need to check and potentially record fabric before removal. |
| B3 | Mid-Victorian | D3 | New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. | Record fabric before removal. |
| B4 | Victorian or Modern | D3 | New/Enlarged Structural. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. | Record fabric before removal. |
| B5 | Late Victorian or possibly Edwardian | D4 | Existing Door/Window to be carefully removed from existing Structural Opening, along with pocket of brickwork below where applicable, to form new access route or to enlarge floorspace/usability. | Record fabric before removal. |
| B6 | Late Victorian or possibly Edwardian | D4 | Existing Door/Window to be carefully removed from existing Structural Opening, along with pocket of brickwork below where applicable, to form new access route or to enlarge floorspace/usability. | Record fabric before removal. |
| B7 | Late Victorian or possibly Edwardian | D3 | Change no longer proposed | No action |
| B8 | Late 20 th century | D6 | Area of existing Non-Original 1980's masonry extension to be | No action. |

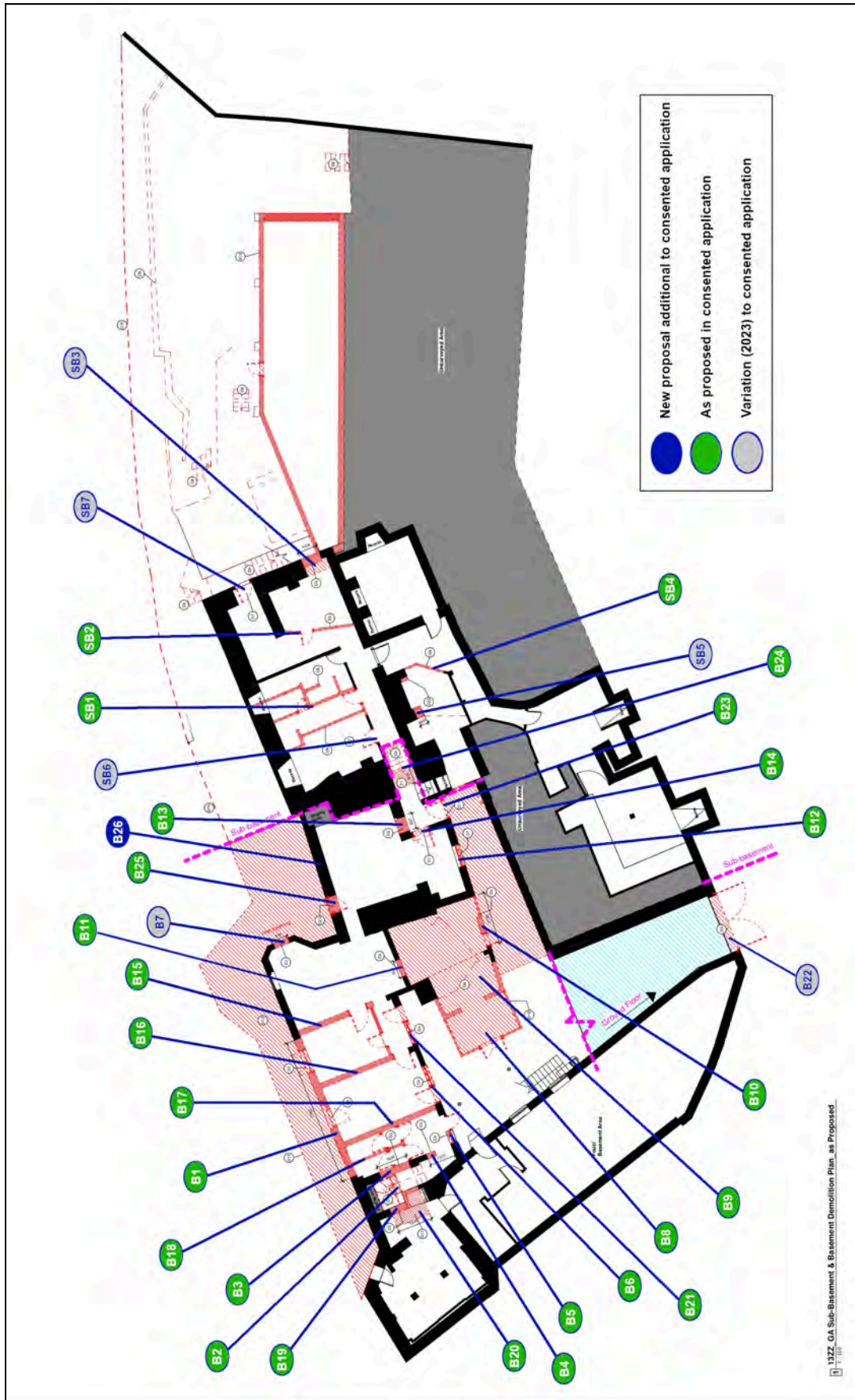
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|-----|--|---------|---|--|
| | | | demolished and removed. | |
| B9 | Probable 20 th century | D6 | Existing Non-Original floor slab to be removed to allow for installation of new insulated floor slab in accordance with Approved Document L. | Record wall fabric before removal. |
| B10 | Late Victorian | D3 | New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. | Record fabric before removal to help date. |
| B11 | Late Victorian | D3 | New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. | Record fabric before removal to help date. |
| B12 | Late Georgian or Early Victorian | D7 | Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. | Retain external stone window sill if possible. |
| B13 | Late Georgian or Early Victorian | D3 | New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. | Record fabric before removal to help date. |
| B14 | Late Georgian or Early Victorian | D7 | Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. | No action. |
| B15 | Late Victorian or 20 th century | D3 & D4 | Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. / Existing Door/Window to be carefully removed from existing Structural Opening, to form new access route or to enlarge floorspace/usability. | May be modern but the fabric needs checking and potentially recording before removal as they may be Late 19 th or early 20 th century. |
| B16 | Late Victorian or 20 th century | D3 & D4 | Existing wall to be carefully removed to form new opening with new lintel to Structural | May be modern but the fabric needs checking and potentially recording before removal as they |

| | | | | |
|------------|--|---------|---|---|
| | | | Engineer's details. Existing Door/Window to be carefully removed from existing Structural Opening, to form new access route or to enlarge floorspace/usability. | may be Late 19 th or early 20 th century. |
| B17 | Late Victorian or 20 th century | D3 | Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. | May be modern but the fabric needs checking and potentially recording before removal as they may be Late 19 th or early 20 th century. |
| B18 | Probably 20 th century | D3 | Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. | These internal walls appear modern but their fabric needs checking and potentially recording before removal as they may be Late 19 th or early 20 th century. |
| B19 | Mid-Victorian and/or later | D3 | Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. | This internal wall appears to be 19 th century but their fabric needs checking and potentially recording before removal as they may in part be 20 th century. |
| B20 | Mid-Victorian and/or later | D11 | Existing door/window to be removed from existing Structural Opening | Modifications to top of stairway where there is a modern floor but this may mask earlier, Mid-Victorian fabric. Check and potentially record anything early which is revealed. |
| B21 | Late Victorian or 20 th century | D4 | Existing Door/Window to be carefully removed from existing Structural Opening, along with pocket of brickwork below where applicable, to form new access route or to enlarge floorspace/usability | Record fabric before removal to help date. |
| B22 & GF25 | Probably Modern | D3 | This gate way is now to be blocked up, rather than have the gates replaced | The present gate appears to be modern but there is a need to check hinges and framing for earlier fabric and record if necessary. |
| B23 | Early Victorian | D11 | Existing door/window to be removed from existing Structural Opening | Probably a modern door but check frame and fabric and potentially record any earlier features. |
| B24 | Probably Georgian | D1 & D2 | Existing Concrete & Stone Floor to be excavated to | Record fabric before and during removal. Watching |

| | | | | |
|------------|--------------------------|-----|--|---|
| | | | allow existing staircase to sub-basement to be moved backwards to increase head height Non-Original in accordance with Approved Document M. Existing Concrete & Stone Floor to be excavated to allow existing staircase to sub-basement to be moved backwards to increase head height Non-Original in accordance with Approved Document M. | brief on excavation work. |
| B25 | Probably Early Victorian | D23 | Existing Window or Door to be replaced as per details on window schedule | Check and potentially record fabric before removal. |
| B26 NEW | Probably Early Victorian | | New window to be created | Record fabric before removal to help date. |

Table 1b: Sub-basement Details

| Sub-basement | | | | |
|---------------------|--------------------------|---------|---|-------------------------------|
| SB1 | 20 th century | D7 & D9 | Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. / Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. | No action. |
| SB2 | 20 th century | D9 | Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. | No action. |
| SB3 | Georgian | D3 | Change no longer proposed | No action |
| SB4 | 20 th century | D9 | Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. | No action. |
| SB5 | Georgian | D22 | From the plans it appears that the impact on the chimney has been removed. However, the insertion of the lift will render the chimney inaccessible | Record fabric before removal. |
| SB6 | Modern | D7 | Change no longer proposed | No action. |
| SB7 | Georgian | D7 | Change no longer proposed | No action. |



Plan 1: An annotated plan showing the location of the modifications proposed for the basement and sub-basement levels, including variations to the consented application and new additions to the consented application.



Figure 27: The top of the stairs connecting the ground floor and basement at the northwest corner of the mid-Victorian wing of the hotel, which will be replaced (B2). It is thought to be non-original, and its surroundings appear modern, but its fabric should be checked during removal to ensure the modern fabric does not obscure an earlier arrangement.



Figure 28: (right above): The central courtyard is at basement level. The brickwork is late 19th century in date and appears to have been built between the publication of the 1880 and 1900 1:10560 Ordnance Survey maps. There are also 20th century elements, such as the block seen to the right of centre, which do not appear on the 1900 Ordnance Survey map. The facing doors will be widened (B5 & B6) and their fabric should be recorded before removal.



Figure 29: The steps leading from basement level down to the sub-basement level, which lies beneath the Georgian "New Hotel", B24. The date of this access point is not known but the steps appear to be relatively modern concrete. Work to modify this access point to the sub-basement to increase headroom may reveal original fabric and should be monitored.

5.2 Ground Floor (see Table 2 and Plan 2)

5.2.1 The ground floor of the hotel complex includes areas dating from the late 18th century (the original Kings Head) where the main entrance to the hotel is still located. North of this is the early 19th century “New Hotel” section of the complex, whilst to the west and northwest are mid-Victorian and late-Victorian wings.

5.2.2 Overview of proposed changes. The proposed works mainly include the removal of some wall sections and the infilling of others, in predominantly Victorian and Georgian areas of the complex. One of the most significant changes would be modification GF23, which would see a wide new doorway opened through the eastern wall of the Georgian “New Hotel” part of the complex. This proposal would however improve access to an important part of the ground floor and counterbalance a similar doorway opened through the same wall in the 20th century. It would not be an unprecedented modification as most of the windows and doorways through the eastern side of the hotel are not original features but have been added and altered over the years.

5.2.3 The overall loss of fabric is not considered significant in a building which has already undergone considerable modifications. On balance, the variations proposed to the consented planning application involve less change than the original and no new major change is proposed. Many of the proposed changes will affect walls which are undated and not understood, as their fabric is presently obscured beneath paint and plaster.

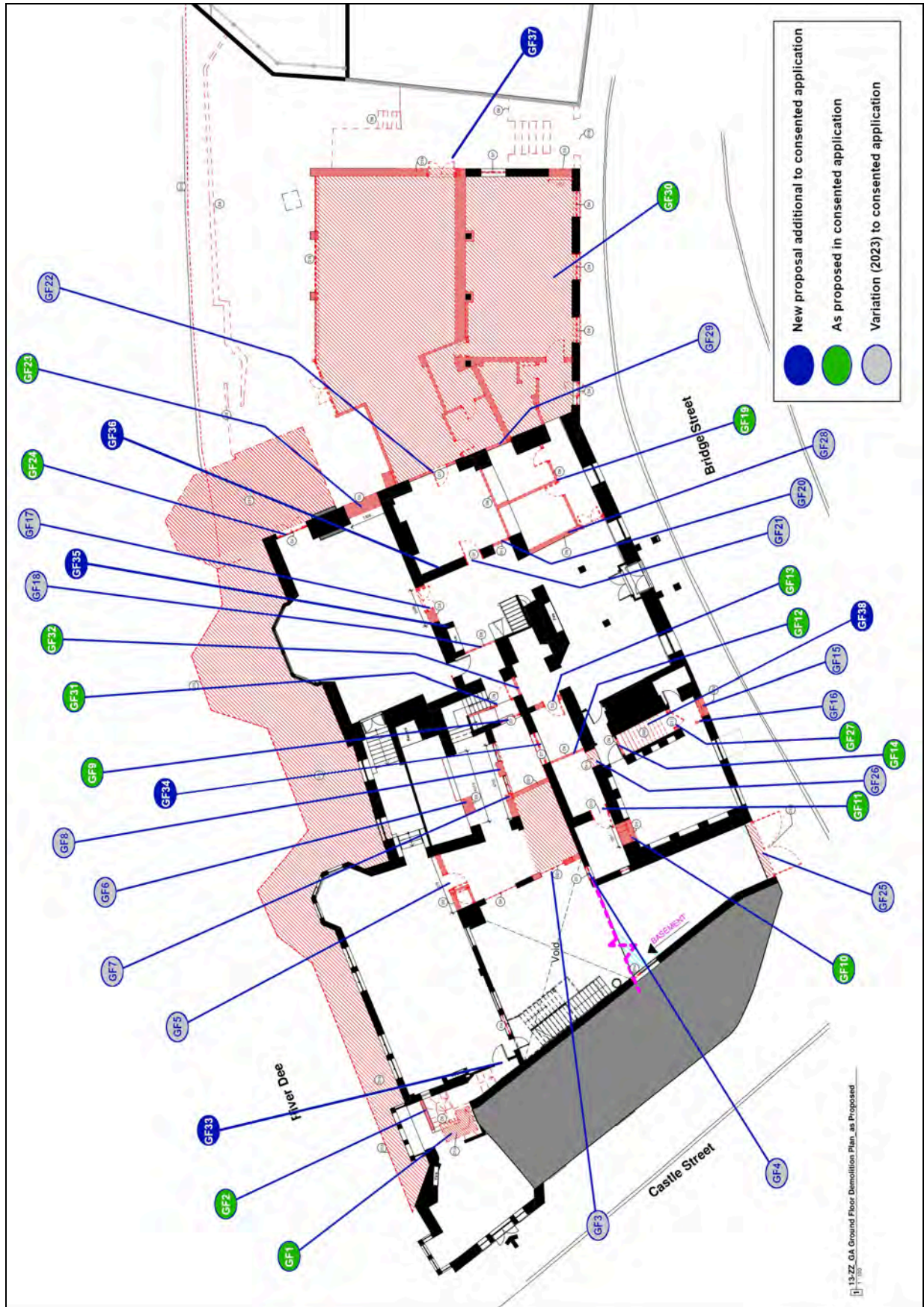
5.2.4 To mitigate against any loss of original fabric, a watching brief on works, where relevant, would help gain a better understanding of the history of the complex and enable presently undated walls and features to be dated through physical inspection, including the analysis of mortar and brick samples. This will help inform future management of the hotel.

Table 2: Ground Floor Details

| Ground Floor | | | | |
|---------------------|---|-----|--|--|
| GF1 | Mid-Victorian possibly Modern replacement | D13 | Existing Suspended Timber Floor to be cut back to allow installation of new timber staircase in accordance with Approved Document M and K. | Check and record and historic fabric before removal. |
| GF2 | Probably modern but may be Late Victorian | D5 | Existing Non-Original staircase to be removed to allow for installation of new staircase layout | Check and record and historic fabric before removal. |
| GF3 | May be Late Victorian or Edwardian | D21 | Change no longer proposed | No action |
| GF4 | May be Late Victorian or Edwardian | D7 | Change no longer proposed | No action |
| GF5 | May be Late Victorian or Edwardian | D3 | Change no longer proposed | No action |
| GF6 | Early Victorian | D3 | Change no longer proposed | No action |
| GF7 | Late Victorian or Edwardian | D21 | Change no longer proposed | No action |
| GF8 | Late Victorian or Edwardian | D3 | Change no longer proposed | No action |
| GF9 | Late Victorian or Edwardian | D7 | Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. | No action. |
| GF10 | Mid-Victorian | D7 | Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. | Record fabric before removal |
| GF11 | May be Victorian | D11 | Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. | No action |
| GF12 | Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| GF13 | May be Victorian | D3 | New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to | Record fabric before removal. |

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|------------|------------------------------|------------|--|---|
| | | | Structural Engineer's details. | |
| GF14 | Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| GF15 | Mid-Victorian | D23 | Change no longer proposed | No action |
| GF16 | Mid-Victorian or Modern | Not given | Change to the original proposal – doorway to be blocked up | Record fabric before removal |
| GF17 | Georgian | D3 | Change no longer proposed | No action |
| GF18 | Modern | D19 | Wall is now being retained but doorway blocked Area of existing Non-Original 1980's masonry | No action |
| GF19 | Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| GF20 | Probably modern | D11 (sic?) | Change no longer proposed | No action. |
| GF21 | Modern door in Georgian wall | D7 | Change no longer proposed | No action. |
| GF22 | Modern | D7 | Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. | No action |
| GF23 | Georgian | D3 | New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. | Record fabric before removal. This new opening will counterbalance a similar opening at the other end of the wall and improve access. |
| GF24 | Modern | D4 | Existing Door/Window to be carefully removed from existing Structural Opening, along with pocket of brickwork below where applicable, to form new access route or to enlarge floorspace/usability. | No action. This is a 20 th century doorway. |
| GF25 & B22 | Probably Modern | D18 | This gate way is now to be blocked up, rather than have the gates replaced | The present gate appears to be modern but there is a need to check hinges and framing for earlier fabric and record if necessary. |

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| GF26 Doorway now to be retained | Mid- Victorian | D11 | Change no longer proposed | No action |
| GF27 | Modern doorway | D11 | Existing door/window to be removed from existing Structural Opening. | Check and potentially record fabric of wall. |
| GF28 | May be Georgian | D9 | Change no longer proposed | No action |
| GF29 | Georgian or later | Not given | Change no longer proposed | No action |
| GF30 | Modern | Various | Internal and external modifications to 20 th century wing of hotel | No action. |
| GF31 | Victorian or Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | Check and potentially record fabric of wall. |
| GF32 | Victorian or Modern | Not given | Modification to doorway. | Check and potentially record fabric of wall. |
| GF33 NEW | Modern | | Removal of a wall and doorway | No action |
| GF34 NEW | Undated | | An existing opening will be blocked up | Record prior to blocking |
| GF35 NEW | Georgian | | One side of fireplace will be removed to allow space for the internal lift | Record prior to removal |
| GF36 NEW | Georgian | | New doorway inserted through wall to allow access to a disabled toilet straight off the main lobby area | Record prior to removal |
| GF37 NEW | Not Applicable | | A lift and stairwell block will be added to the southeast end of the modern block. It will be set back from the road line so will not intrude into most views of the Royal Hotel and other Listed Buildings | Ensure suitable materials are used for the finish |
| GF38 NEW | Victorian | | An internal staircase will be removed and the area used as a store | Record prior to removal |



Plan 2. An annotated plan showing the location of the modifications proposed for the Ground Floor (GF) level.



Figure 30: A view inside the main lounge of the Georgian "New Hotel". The doorway to the left is not an original feature and will be replaced (GF24). It is proposed that another doorway (GF23) is opened through the wall to the right of the chimney breast. This will involve removing original fabric which should be monitored and recorded. The fireplace will remain in place.



Figure 31: An external doorway of the doorway (GF24) seen in the previous plate. The render and false quoin stones are relatively modern additions.



Figure 32: A view inside the hallway of the ground floor of the Georgian "New Hotel", viewed from the main staircase. It was proposed that the open door will be infilled (GF21) and a new doorway opened through the arched alcove to the right of centre (GF20). Under the requested variation the wall would be maintained as it currently is. The present doorway is probably not an original feature, whilst the alcove may be an original opening which appears to only be blocked by a thin stud wall. This arrangement shows the complexity of the building and the scale of modifications which have been made during the past 200 years. The monitoring of the removal of the existing plaster and stud walling may well reveal details which help better interpret the history of the building.

5.3 First Floor (see Table 3 and Plan 3)

5.3.1 The first floor of the hotel complex again extends across wings which include the original, late-18th century, Kings Head, the early 19th century “New Hotel” and the mid- to late-Victorian buildings raised around the junction at the northeast corner of Bridge Street and Castle Street, leading up to the river bridge. Many of the changes will be made to lath and plaster or stud-wall partitions and not impact on stone fabric.

5.3.2 Many of the proposed changes on this floor are focused on the opening of new doorways or infill of existing doorways or windows. The works would also include the removal of a now redundant staircase (FF22) of possibly mid-Victorian date between the ground floor and first floor, the top of which is hidden behind modern partition walling. The staircase is relatively modern in appearance and a watching brief on its removal might shed light on its origins. A small corridor stair will also be modified and its fabric should be recorded before removal (FF7). Of particular interest is modification FF1, which requires the removal of partition walling in the northwest tower of the mid-Victorian wing of the hotel. The partitions are undated but cut across what appear to be original covings at ceiling level and may restore the tower rooms to something akin to their original form.

5.3.2 The overall loss of fabric is not considered significant in a building which has already undergone considerable modification. On balance, the variations proposed to the consented planning application involve less change than the original and no new major change is proposed. Many of the proposed changes will affect walls which are undated and not understood, as their fabric is presently obscured beneath paint and plaster. This is especially true within hotel bedrooms which have been reduced, enlarged or sub-divided by partition walls of varying dates. Preliminary examination shows that some of these partitions are in lath and plaster and may be late-Victorian or early 20th century, whilst others are evidently of later 20th century date.

5.3.3 To mitigate against any loss of original fabric, a watching brief on works, where relevant, would help gain a better understanding of the history of the complex and enable presently undated walls and features to be dated through physical inspection. This will help inform future management of the hotel.

Table 3: First Floor Details

| First Floor | | | | |
|-----------------------|---|---------|--|--|
| FF1 Layout revised | Modern | D9 | The changes to the internal layout have been revised in the variation but there will be a similar impact on existing fabric. | The removal of a number of internal partition walls in the Mid-Victorian wing. The date of the partitions is not clear but some are likely to be modern additions as they cut across original covings at ceiling level. Monitor revealing of original detail in ceilings and record. |
| FF2 | Late Victorian or Modern | D9 | Existing internal wall to be now remain but the doors will be removed. | Record any historic fabric before removal. |
| FF3 | Mid-Victorian, possibly Late Victorian | D3 | New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. | Record fabric before removal. |
| FF4 | Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| FF5 | Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| FF6 | Modern | D9 & D3 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. / New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. | No action |
| FF7 | Mid Victorian with Modern modifications | D2 | Existing staircase to be relocated backward/forwards and have new wall-mounted handrails installed to both sides in accordance | Monitor to record any early fabric |

| | | | | |
|------|--------------------------------------|---------|---|---|
| | | | with Approved Document M. | |
| FF8 | Probably Mid Victorian | D3 & D7 | Change no longer proposed | No action |
| FF9 | Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| FF10 | Possibly Mid-Victorian and/or Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | Check and potentially record fabric of wall before removal. |
| FF11 | Mid-Victorian | D7 | Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. | Check and potentially record fabric of wall before removal. |
| FF12 | Mid-Victorian or later | D7 | Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. | Withdrawn from scheme. No action. |
| FF13 | Mid-Victorian or Modern | D3 | New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. | Check and potentially record fabric of wall before removal. |
| FF14 | Mid-Victorian or Modern | D7 | Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. | Check and potentially record fabric of wall before removal. |
| FF15 | Probably Late Victorian | D7 | Change no longer proposed | No action |
| FF16 | Probably Late Victorian | D7 | Change no longer proposed | No action |
| FF17 | Modern | D9 | Existing internal wall to be altered. Doorway moved position. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| FF18 | Victorian | D3 | Change no longer proposed | No action |

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|------|--------------------------------------|-----------|--|---|
| FF19 | Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| FF20 | Probably Late Victorian or Edwardian | D23 | Change no longer proposed | No action |
| FF21 | Modern | D9 | Change no longer proposed | No action |
| FF22 | Mid-Victorian | D20 | Existing concealed and redundant staircase to be demolished and removed | Record fabric before removal |
| FF23 | Possibly Mid-Victorian | D21 | Existing Non-Original flying extension with undercroft below to be demolished. | Record fabric before removal |
| FF24 | Modern | Not given | Removal of modern doorway and partition | No action. |
| FF25 | Mid-Victorian | D7 | Change no longer proposed | No action |
| FF26 | Possibly Victorian | D17 | Existing roof structure to be cut-back or removed as indicated. | Check and potentially record fabric of wall before removal. |
| FF27 | Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| FF28 | Probably Victorian | D14 | Existing Window and Structural Opening to be reduced in width/height as indicated and have new matching style window frame installed. | Record fabric before removal |
| FF29 | Possibly Georgian | D3 | New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details | Check and potentially record fabric of wall before removal. |
| FF30 | Possibly Georgian | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | Check and potentially record fabric of wall before removal. |
| FF31 | Possibly Georgian | D4 | Change no longer proposed | No action |

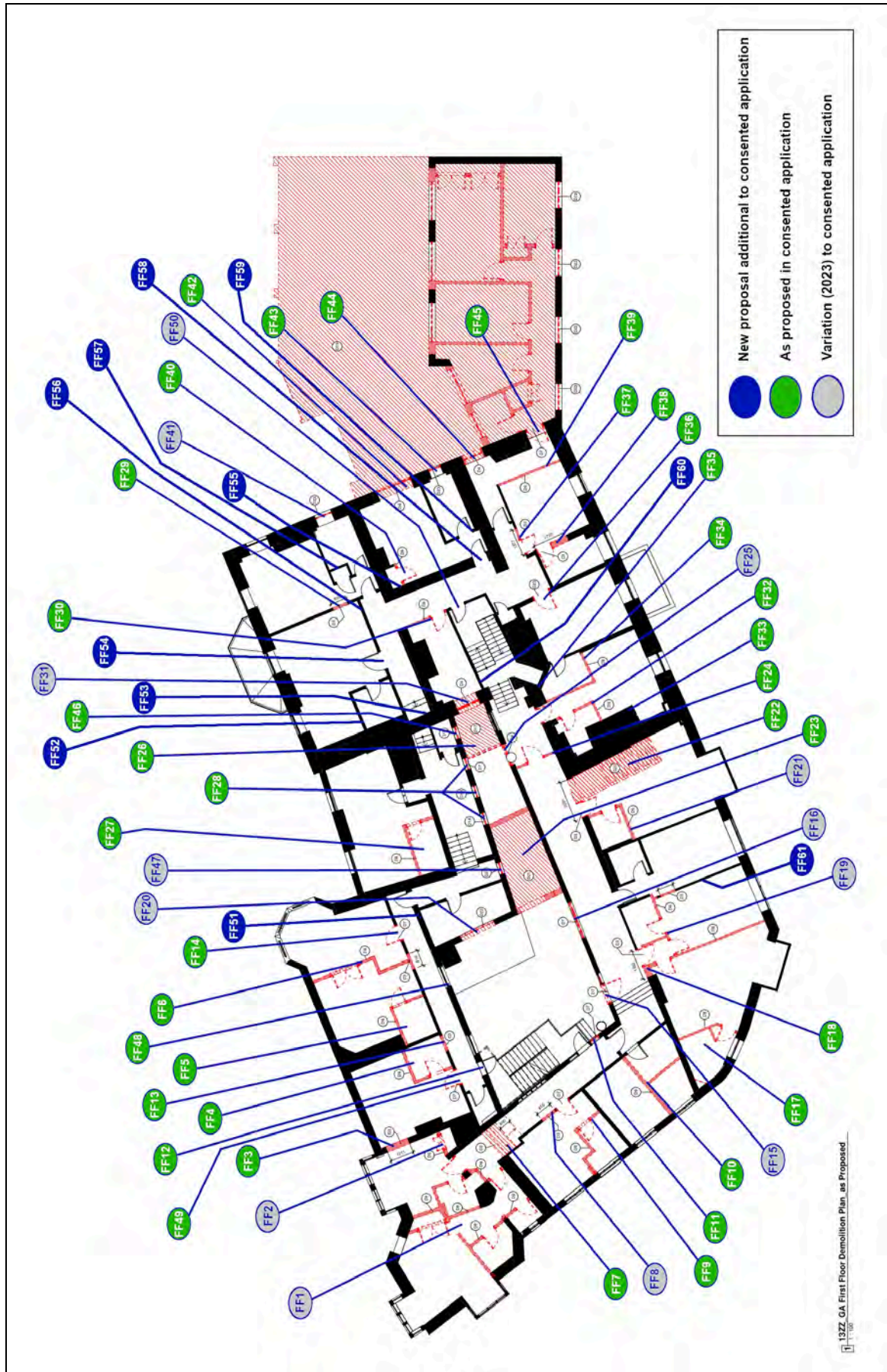
| | | | | |
|------|--|-----------|---|---|
| FF32 | Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| FF33 | Possibly Georgian | Not given | Modification and partial removal of chimney breast. | Withdrawn from consented scheme and not part of new 2023 scheme |
| FF34 | Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| FF35 | Probably Georgian | Not given | Modification of walling | Withdrawn from consented scheme and not part of new 2023 scheme |
| FF36 | Modern | D23 | Existing Window or Door to be replaced as per details on window schedule | No action |
| FF37 | Modern | D3 | New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. | No action |
| FF38 | Possibly Georgian | D3 | New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details | Record fabric before removal |
| FF39 | Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| FF40 | Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| FF41 | Victorian or later insert into Georgian wall | D23 | Change no longer proposed | No action |
| FF42 | Georgian | D4 | Existing Door/Window will be blocked to create a solid wall | Record fabric before removal |
| FF43 | Victorian or later | D23 | Existing Window or Door | Monitor and record |

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| | insert in Georgian wall | | to be blocked up | any fabric of historic interest. |
| FF44 | Georgian | D4 | Existing Door/Window to be blocked up to create solid wall. To be infilled and decorated to match the surrounding wall | Record fabric before removal |
| FF45 | Modern through Georgian wall | D7 | Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall | Monitor and record any fabric of historic interest. |
| FF46 | Probably Victorian | D7 | Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. | Check and potentially record fabric of wall before removal. |
| FF47 | Probably Victorian | D23 | Change no longer proposed | No action |
| FF48 | Late Victorian or Edwardian | Not given | Modification to window opening. | Withdrawn from consented scheme and not part of new 2023 scheme |
| FF49 | Late Victorian or Modern | D7 | Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. | No action. |
| FF50 | Modern? | Not given | The wood and glass wall and door will now be removed | Record fabric before removal |
| FF51 NEW | Late Victorian/Modern | Not Given | A section of brick walling and an internal division will be removed to create an open space | Record fabric before removal |
| FF52 NEW | Modern | Not Given | A modern internal room division will be partially removed and realigned | No action. |
| FF53 NEW | Unknown | Not Given | A storage cupboard within a broad landing will be removed | Record fabric before removal |
| FF54 NEW | Unknown | Not Given | A doorway will be blocked up | Record fabric before removal |
| FF55 NEW | Georgian | Not Given | A new doorway will be inserted through a section of wall | Record fabric before removal |
| FF56 NEW | Unknown | Not Given | A new doorway will be inserted through an internal wall of unknown date | Record fabric before removal |
| FF57 | Unknown | Not | Internal walls will be | Record fabric before |

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|-------------|---------|--------------|--|------------------------------|
| NEW | | Given | removed and reconfigured | removal |
| FF58 NEW | Unknown | Not Given | A doorway through one of the Georgian walls will be blocked up | Record fabric before removal |
| FF59 NEW | Modern? | Not Given | Wall to be removed | Record fabric before removal |
| FF60 | Modern? | Not Given | Wall to be removed to create a storage area | Record fabric before removal |
| FF61 NEW | Modern? | Not Given | Internal stud wall to be removed | No action. |



Figure 33: The ceilings of the first-floor rooms at the northwestern corner of the hotel at first floor level show that the mid-Victorian rooms have been subdivided by later stud walling, with original plaster coving cut by the later walls. Removing some of these later walls (FF1) may restore some rooms to a condition closer to their original form. The date of the stud walling is not always clear, however, and could range from late-Victorian to late 20th century, hence this work needs to be monitored and recorded where historic fabric is revealed or removed.



Plan 3. An annotated plan showing the location of the modifications proposed for the First Floor (FF) level.



Figure 34: The original staircase, seen here on the landing between the first and second floors. The staircase lies within the "New Hotel" and probably dates to 1815 and is one of the most important historical features within the complex. There are no proposals which will impact on the staircase although the banisters may need some remedial work.

5.4 Second Floor (see Table 4 and Plan 4)

5.4.1 The second floor of the hotel complex extends across wings which include the original, late-18th century, Kings Head, the early 19th century “New Hotel” and the mid- to late-Victorian wings raised around the junction at the northeast corner of Bridge Street and Castle Street, leading up to the river bridge. As with the first floor, many of the changes will be made to lath and plaster or stud-wall partitions and not impact on stone fabric.

5.4.2 The most significant modifications will be to the door and window SF14 and SF15 though the eastern side of the “New Hotel” and Kings Head. SF14 and SF15 are appear to be original to the Georgian King’s Head and “New Hotel” and are shown in early prints of King’s Head (see Plate 34 below). SF14 has been converted into a doorway in the 20th century, whilst the proposal for SF15 is to infill the window, which is not considered to negatively impact the fabric of the building.

5.4.3 On balance, the variations proposed to the consented planning application involve less change than the original and no new major change is proposed. To mitigate against any loss of original fabric, a watching brief on works, where relevant, would help gain a better understanding of the history of the complex and enable presently undated walls and features to be dated through physical inspection. This will help inform future management of the hotel.

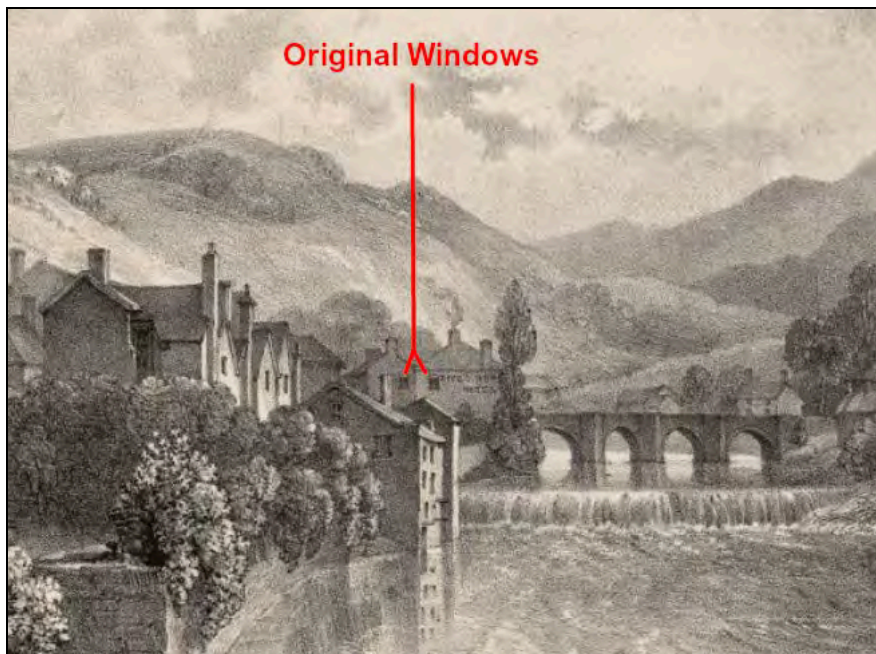


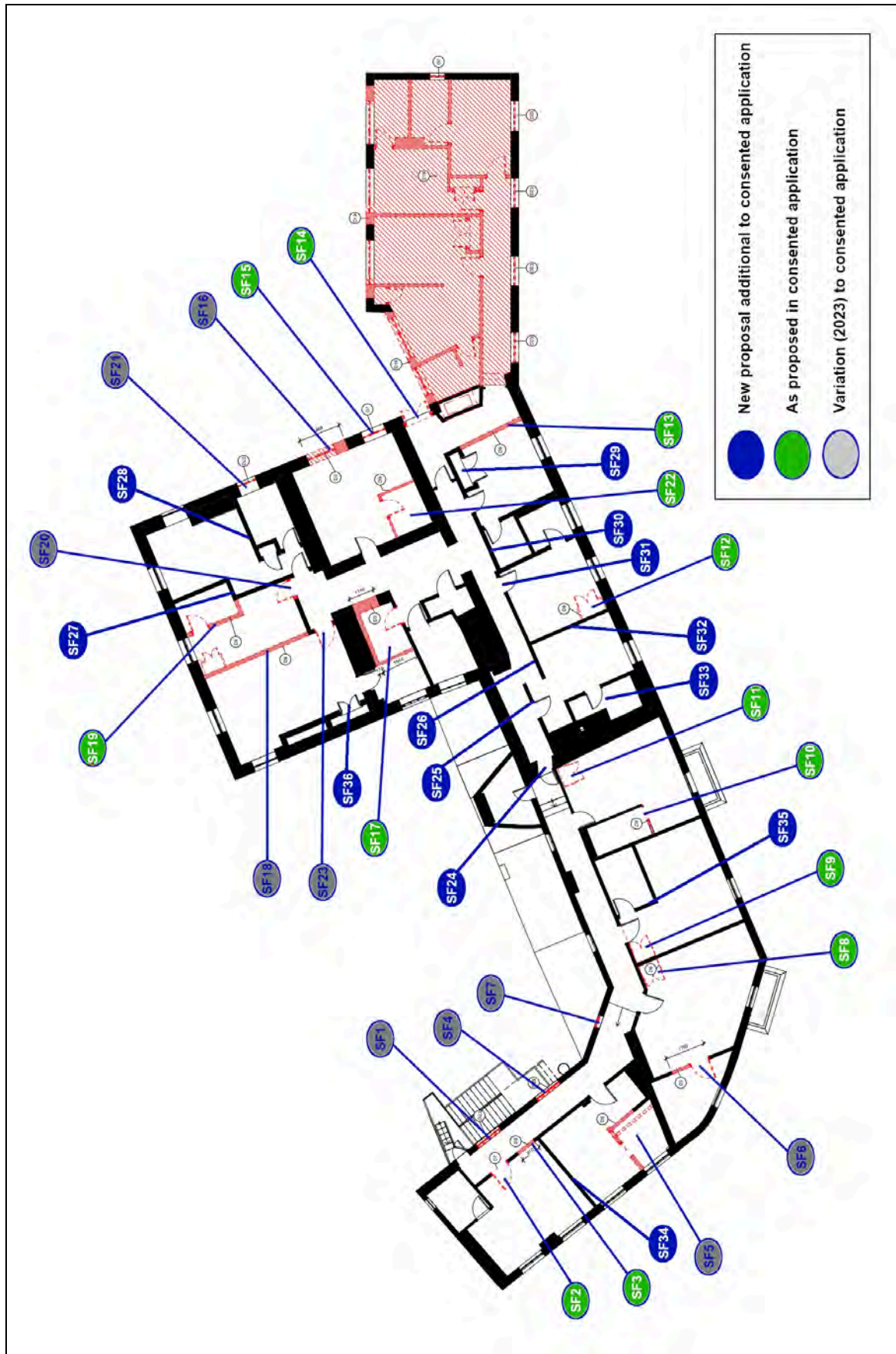
Figure 35: W. Crane’s print of Llangollen circa 1840 shows the Kings Head Hotel with only two upstairs windows shown in the eastern wall of the upper floors. These probably correspond to the windows affected by modifications SF14 and SF15. The other windows through this wall, including those affected by modifications SF16 and SF21, are later inserts it appears.

Table 4: Second Floor Details

| Second Floor | | | | |
|---------------------|-------------------|-----------|---|---|
| SF1 | Victorian | D23 | No change now proposed | No action |
| SF2 | Probably Modern | D7 | Existing door/window to be removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. | Check and record any historical fabric before removal |
| SF3 | Probably Modern | D3 | New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. | Check and record any historical fabric before removal |
| SF4 | Victorian | D23 | No change now proposed | No action |
| SF5 | Probably Modern | D9 | No change now proposed | No action |
| SF6 | Probably Modern | D3 | A different small portion of the wall to be removed from the consented proposal | Check and record any historical fabric before removal |
| SF7 | Victorian | Not given | No modification to window now proposed. | No action |
| SF8 | Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| SF9 | Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| SF10 | Modern | D9 | No change now proposed | No action |
| SF11 | Modern | Not given | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| SF12 | Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| SF13 | Possibly Georgian | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | Record fabric before removal |
| SF14 | Modern door | Not given | Doorway will be blocked | No action |
| SF15 | Georgian | D7 | Existing door/window to be | Check and record any |

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|----------|-----------------------------------|-----------|---|---|
| | | | removed from existing Structural Opening and be infilled and decorated to match the surrounding wall. | historical fabric before modification |
| SF16 | Victorian window in Georgian wall | D3 | No change now proposed | No action |
| SF17 | Georgian | D2 & D22 | New/Enlarged Structural Opening to be formed. Existing wall to be carefully removed to form new opening with new lintel to Structural Engineer's details. / Face of existing Chimney to be adjusted in accordance with Structural Engineers details to facilitate installation of new platform lift in accordance with Approved Document M. | Record fabric before removal |
| SF18 | Possibly Modern | D9 | No change now proposed | No action |
| SF19 | Possibly Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | Check and record any historical fabric before removal |
| SF20 | Possibly Modern | Not given | No change now proposed | No action |
| SF21 | Victorian window in Georgian wall | D23 | No change now proposed | No action |
| SF22 | Modern | D9 | Existing internal wall to be removed. Structural walls to receive new structural lintel above to Structural Engineer's design. | No action |
| SF23 | Modern | Not given | No change now proposed | No action |
| SF24 NEW | Georgian | Not Given | A change to straighten the wall has been removed so no change proposed now | No action |
| SF25 NEW | Unknown | | Existing internal walls to be removed. | Check and record any historical fabric before removal |
| SF26 NEW | Unknown | | Existing internal walls to be removed. | Check and record any historical fabric before removal |
| SF27 NEW | Unknown | | Existing internal walls to be removed. | Check and record any historical fabric before removal |
| SF28 NEW | Unknown | | Existing internal walls to be removed. | Check and record any historical fabric before |

| | | | | |
|-------------|---------|--|--|---|
| | | | | removal |
| SF29 NEW | Unknown | | Existing internal walls to be removed. | Check and record any historical fabric before removal |
| SF30 NEW | Unknown | | Existing internal walls to be removed. | Check and record any historical fabric before removal |
| SF31 NEW | Unknown | | Existing internal walls to be removed. | Check and record any historical fabric before removal |
| SF32 NEW | Unknown | | Existing internal walls to be removed. | Check and record any historical fabric before removal |
| SF33 NEW | Unknown | | Existing internal walls to be removed. | Check and record any historical fabric before removal |
| SF34 NEW | Unknown | | Existing internal walls to be removed. | Check and record any historical fabric before removal |
| SF35 NEW | Unknown | | Existing internal walls to be removed. | Check and record any historical fabric before removal |
| SF36 NEW | Unknown | | Existing internal walls to be removed. | Check and record any historical fabric before removal |



Plan 4. An annotated plan showing the location of the modifications proposed for the Second Floor (SF) level.



Figure 36: A view of the eastern side of the Georgian "New Hotel". 19th century prints of the building show only a single upstairs window at second floor level in this side of the building. It is not certain if the original windows survive to the left side of the elevation, window SF15 will be blocked but SF16 retained. The remaining windows appear to relate to later modifications of Victorian or early 20th century date.



Figure 37: A damaged section of ceiling on the second floor of the Victorian wing of the hotel facing Bridge Street reveals original laths beneath the plasterwork.

5.5 The 20th Century Wing.

5.5.1 The 20th century wing was added to the Royal Hotel during the second half of the 20th century. It is not considered to be of heritage value and proposed internal changes have not been included in this report.

5.5.2 The 20th century wing consisted of two parts. One section faced onto Bridge Street, to the south, whilst another faced the river Dee to the north and included the popular Dee Bar. This latter section was demolished during the early summer of 2021 as part of enabling works to facilitate access to undertake emergency repairs a collapse of the river wall beneath the Georgian section of the hotel.

5.5.3 The southern part of the 20th century wing, facing Bridge Street, has been retained and will be incorporated into the proposed enhancement of the hotel complex, with the proposed new spa and sauna wing constructed on the site of the demolished Dee Bar.

5.5.4 Proposed changes to the external décor of the façade of the 20th century wing on Bridge Street are considered in a separate document assessing the impact on the Setting of the Royal Hotel (Trysor, 2024). These changes are also touched upon in section 5.6 of this report, which deals with the Heritage Impact of the external modifications and enhancements proposed as a part of the redevelopment of the hotel complex.



Figure 38: A view of the hotel from Bridge Street, November 2021. The 20th century wing is seen to the left of centre. The proposed changes to this wing include the addition of shopfront-style awnings over the ground floor door and windows and the addition of a pitched slate roof to replace the present flat roof. These changes will enhance the appearance of the modern wing and the complex as a whole. A cantilevered section would be added to the gable end to the right of this image, at first and second floor level.

5.6 External modifications

5.6.1 It is proposed that the present “black and white” exterior décor of the hotel will be replaced by a new colour scheme. Although “black and white” décor has been popular in Llangollen in the past, many commercial premises have moved away from this theme in recent years. The use of light colours for the elevations with architectural details, doors and window surrounds picked out in a darker colour is still popular, including along Bridge Street and at either end of the river bridge.

5.6.2 The facades of the Royal Hotel, facing Bridge Street and Castle Street, are a composite of several phases of development. The earliest is the late 18th to early 19th century building which was built as the King’s Head, on Bridge Street. This is where the main entrance into the Royal Hotel has always been located. Later and mid-Victorian wings extend from the original King’s Head building to the junction of Bridge Street and Castle Street and along Castle Street to the end of the river bridge.

5.6.3 Throughout the past 200 years, the owners of the hotel appear to have endeavoured to present the southern and western elevations with a coherent, unifying décor to emphasise that this large and architecturally varied complex was a single establishment.

5.6.4 The earliest known photograph of the south elevation of the Royal Hotel is a black and white photograph dating to circa 1900 (Plate 38). This shows the south and west elevations painted in one tone, with a darker colour on the woodwork of the bay window and doors, with white window frames.



Figure 39: This photograph appears to show that the façade of the Royal Hotel was uniform in terms of its décor around 1900.

5.6.5 Another black & white photograph dating to 1950 (Plate 39) again shows a single, coherent decorative style across the entire south elevation. By this time the building appears to have been painted white or a very light colour, with a darker colour (probably black) used on the raised render around some windows, gutters and downpipes and also on a single horizontal band between the ground floor and first floor which runs across the entire south elevation.



Figure 40: This photograph shows the uniformity of the external décor of the hotel façade in the mid-20th century.

5.6.6 The available sources therefore indicate that the whole of the south elevation has been decorated in a single, coherent style. There are no historical or aesthetic grounds to change that approach.

5.6.7 The northern elevations of the hotel complex, facing the river, have been treated very differently in the past. In recent times they have had a similar “black and white” décor to that of the southern and western facades of the hotel, but in earlier times wings of different dates along the riverside were decorated differently, being either left unpainted or painted in different colours (see figures 11, 14 and 16).

5.6.8 It is proposed that the new décor would use subtly different light colours on wings of different dates, to recreate the variety which formerly existed. This will help create a level of understanding of the history of the building and its stages of development for the onlooker.

5.6.9 Architectural details will largely be picked out in the same darker paint as used on the hotel façade, to unify the complex. The hotel name, which appears in raised lettering on the wall of the Georgian wing and also as affixed lettering on the late Victorian wing, will be painted in the same dark colour.

5.6.10 The natural stone window surrounds on the mid-Victorian turret at the northwestern corner of the hotel will be cleaned of the paint which currently masks the stonework to once again reveal the original stonework.



Figure 41: This photograph from 1950 shows how each wing of the hotel once had very distinctive but different external décor; the Georgian wing is to the left, the red-brick late Victorian wing is to the centre and the mid-Victorian wing to the right is painted cream.

5.6.11 Other changes to the northern side include moderate changes to the modern decking along the river's edge, ensuring that it compliments the character of the historic hotel.

5.6.12 Some architectural changes will be made to the late-Victoria wing of the hotel at basement level (B1). Here the lower part of the external wall, which already has two doors opening out onto the external decking level, will undergo significant modification. Both doorways and a window will be removed to create a wider opening, with folding glass doors, opening onto the decking from a new dining room.

5.6.13 In this proposed variation to the consented scheme the base of the late-Victorian turret at the riverside (B7) will not have a new window opening inserted, retaining the original fabric.

5.6.14 The largest change in this proposed variation is to the construction on the former site of the Dee Bar, to the east of the Georgian wing of the hotel.

This will now provide private, 1- or 2-bedroom apartments rather than a spa facility. There will be no internal connection with the main building and access to the apartments will be by an additional external lift and stairwell block in the gap between the Royal Hotel and the former Midland Bank to its southeast. The new building will still have a physical impact on the hotel building. The new structure will be built to the same height as the Georgian "New Hotel" and will obscure much of the eastern side of the earlier building. At each level, modifications will be made to existing windows and doors to accommodate the new structure (GF22 & GF29; FF42-FF44; SF14 & SF15, see Plate 35). Many of the present windows and doors are not thought to be original features but have been inserted in later times. Monitoring and recording their fabric during the removal work might give a better understanding of the development of this part of the hotel complex.

6. Heritage Impact Assessment Stage 4: *Set out the reasoning behind the preferred option, including design concepts and principles, in the light of the assessment process*

6.1 Trysor and the wider teams involved in this project have worked through the HIA process together, refining the proposal for the best outcome for the historic environment and the client. Consultations with Cadw and the Denbighshire Conservation Officer were undertaken by the project team for the consented application and the outcomes also fed back into the design.

6.2 As part of the HIA process for the consented scheme, Trysor were brought into the project as historic environment consultants at an early stage and invited to examine the interior and exterior of the Royal Hotel in May 2019. This informed an unpublished report "*Royal Hotel, Bridge Street, Llangollen: History of Development*" (Trysor, 2019) which outlined the history of the hotel.

6.3 This initial study demonstrated that the hotel included wings of varying dates, from the late 18th century to the late-Victorian and a phase plan of the complex was created which identified Early Georgian, Georgian, Mid-Victorian and Late Victorian wings. Some outbuildings and service areas at the centre of the complex were undated but thought likely to be of Victorian or later date.

6.4 The findings of the initial Trysor study have informed the subsequent proposals for the Royal Hotel, which have sought to preserve and enhance the historic character of the complex and ensure that the distinctive architecture of wings of different dates is protected within the new scheme.

6.5 The chosen new colour scheme for the exterior of the complex has been discussed in detail with Cadw and the local authority Conservation Officer and will be true to the historic management of the buildings. The hotel façades on Bridge Street and Castle Street will be decorated with a light colour, with architectural detail picked out with a darker colour.

6.6 The décor of the rear elevations will show subtle variation, with each wing painted in a different, light colour but unified across the façades by the use of the same dark colour to pick out architectural details, doorways and windows. This will maintaining the architectural integrity and character of each wing yet make each historic phase of the complex readily identifiable and readable.

6.7 The new residential unit which will replace the 20th century part of the building on Bridge Street will be finished in white render to match the existing hotel with a slate roof to the front section and flat roof to the rear. The rear elevation of the apartments overlooking the river will have timber cladding and black cladding that frame the balcony areas. The stairwell and lift block will be clad in black steel/timber cladding. It will be a new, modern element, replacing the rear of the mid 20th century block. It will not be line with the Georgian hotel but follow the river and angle away from the Georgian block, so

it will not be dominant in views from Llangollen Bridge or detract from the older parts of the hotel.

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January 2024
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7.1 Maps

Estate Map, 1791, Survey of several estates in Co. Denbigh belonging to Rev. Edward Roberts. Denbighshire Archives, DD/DM/736/1

Ordnance Survey, 1874, 1:2500 map

Ordnance Survey, 1971, 1:2500 map

Llangollen Parish Tithe Map, 1843

Llangollen Parish Tithe Apportionment, 1843

7.2 Online Resources

1752, Register of Alehouses for Llangollen

<http://www.llangollenmuseum.org.uk/History/shops.htm>

Will of Joseph Davies, King's Head, Llangollen, 1822. National Library of Wales, website.

Will of Elizabeth Lloyd, King's Head, Llangollen, 1854. National Library of Wales website.

British Newspaper Archive <https://www.britishnewspaperarchive.co.uk/>

Welsh Newspapers Online <https://newspapers.library.wales/>

Appendix A: Client Plans

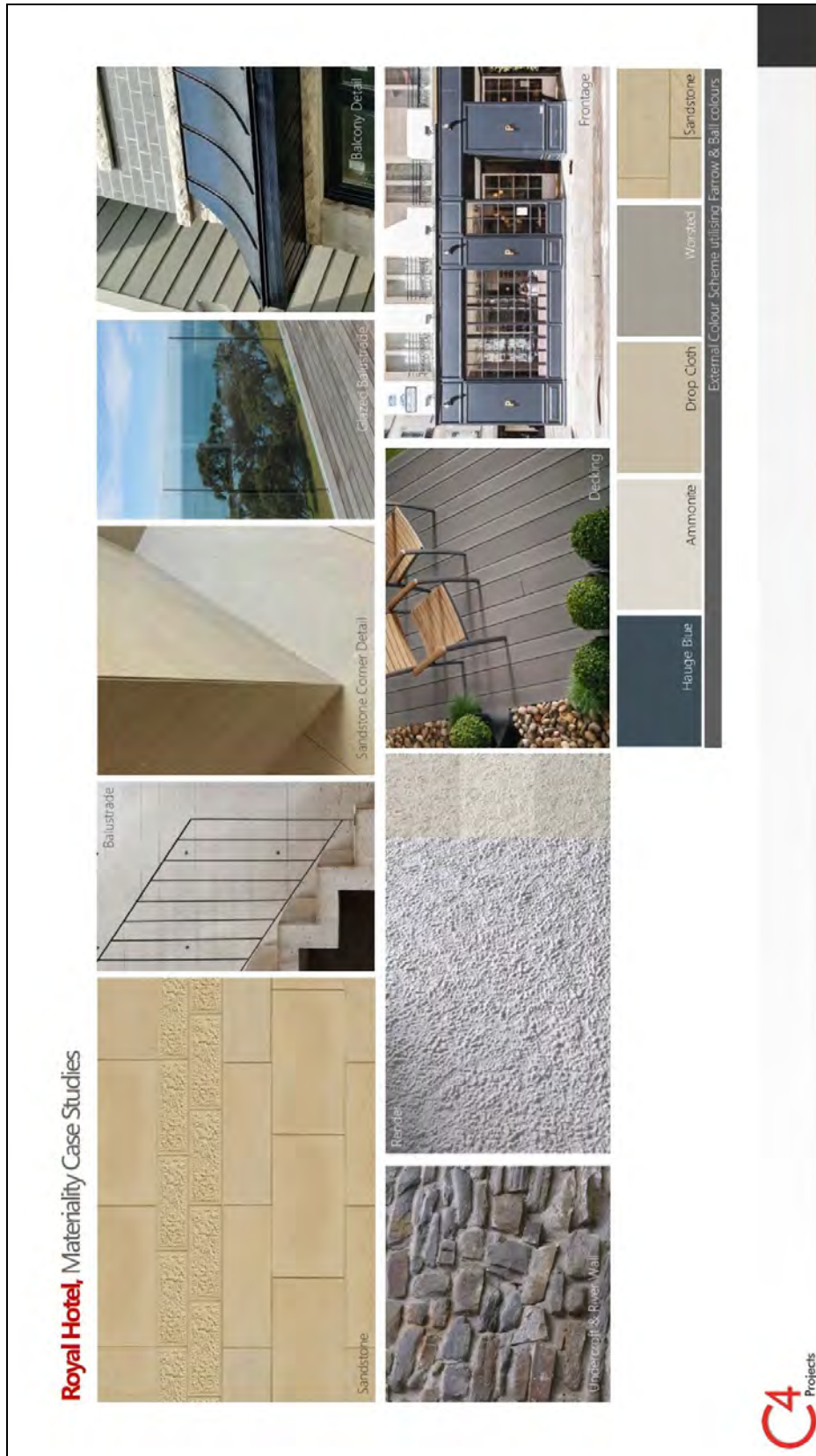


Figure XX: Client Materiality and Colour Scheme. The Ammonite will be used on the painted render on the southern and western façades, with Ammonite, Dropcloth and Worsted used on the northern façade to highlight different phases of the hotel's history with the darker colour used for the oldest, Georgian elements.

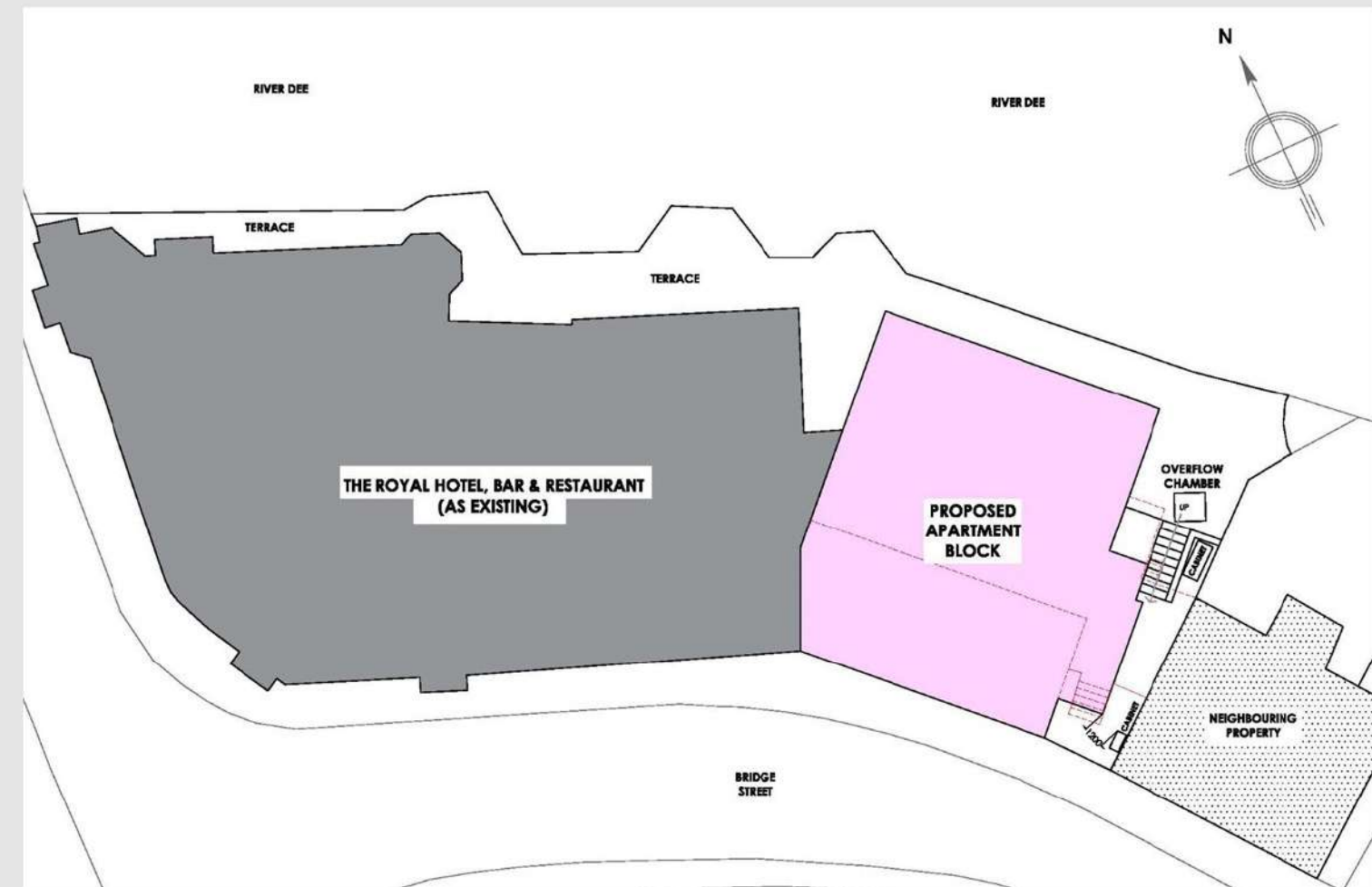
Full Planning Application for Conversion and Extension of part of Hotel to form 12 no. Residential Apartments - The Royal Hotel, Llangollen. LL20 8PG.

SCHEDULE 1B: PUBLICITY AND CONSULTATION BEFORE APPLYING FOR PLANNING PERMISSION
NOTICE UNDER ARTICLES 2C AND 2D
Town & Country Planning (Development Management Procedure) (Wales) Order 2012

Date: 13th March 2024



Notice is given that Mavi Royal Ltd. are intending to apply for Full Planning Application for Conversion and Extension of part of Hotel to form 12 no. Residential Apartments
- The Royal Hotel, Llangollen. LL20 8PG.



The development offers a mixture of :
6 no. 1 bedroomed Apartments
6 no. 2 bedroomed Apartments



This Notice gives the opportunity to comment directly to the Developers on the scheme prior to the formal submission of the Planning Application to Denbighshire County Council Planning Department. Any subsequent planning application will be publicised by the relevant LPA; any comments provided in response to this notice will not prejudice your ability to make representations to the LPA on any related planning application. You should note that any comments submitted may be placed on the public file.

you may also view online at:

www.royalhotelllangollen.co.uk

You may inspect paper copies of the proposals at:

Tŷ Architecture Cyf, 15a Clwyd Street, Ruthin. LL15 1HF

If you require email copies of the documents, please contact us on:

01824 702444 or email info@tyarchitecture.co.uk

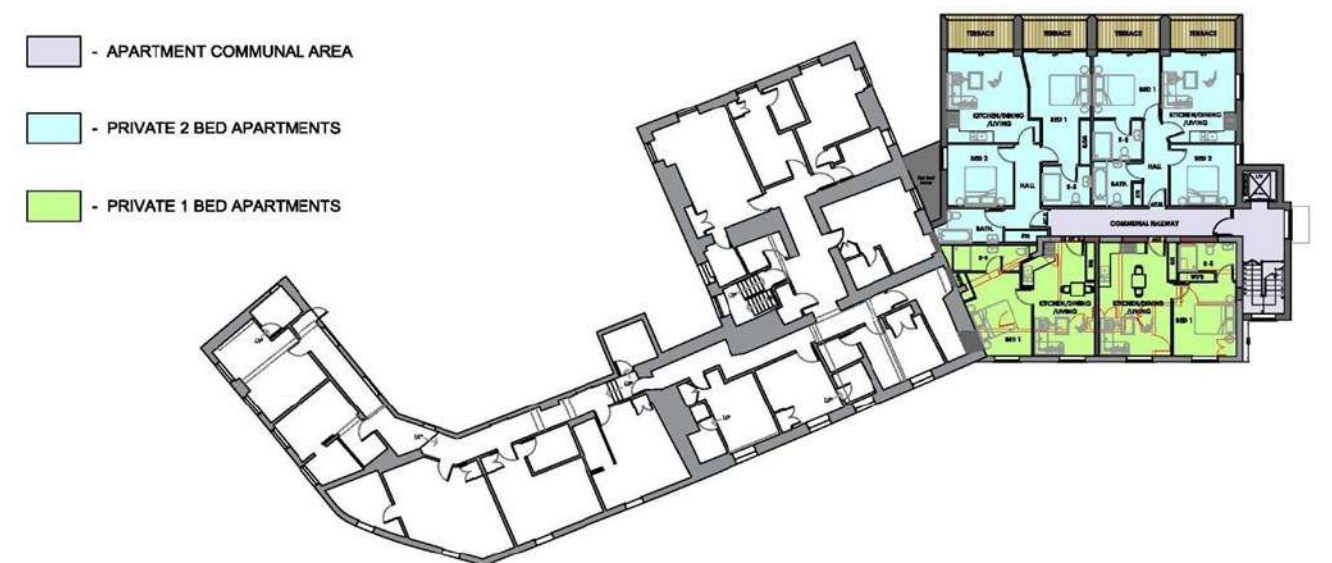


Proposed Ground Floor Plan



Proposed First Floor Plan

The project involves separating the 1970's extension into apartments and keeping the original Hotel as a Hotel, Bar and Restaurant.



Proposed Front Elevation



Proposed Front Elevation

Anyone who wishes to make any comments about this proposed

development must write to us at:

Tŷ Architecture 15a Clwyd Street, Ruthin. LL15 1HF

or by email to info@tyarchitecture.co.uk

by 10th April 2024.



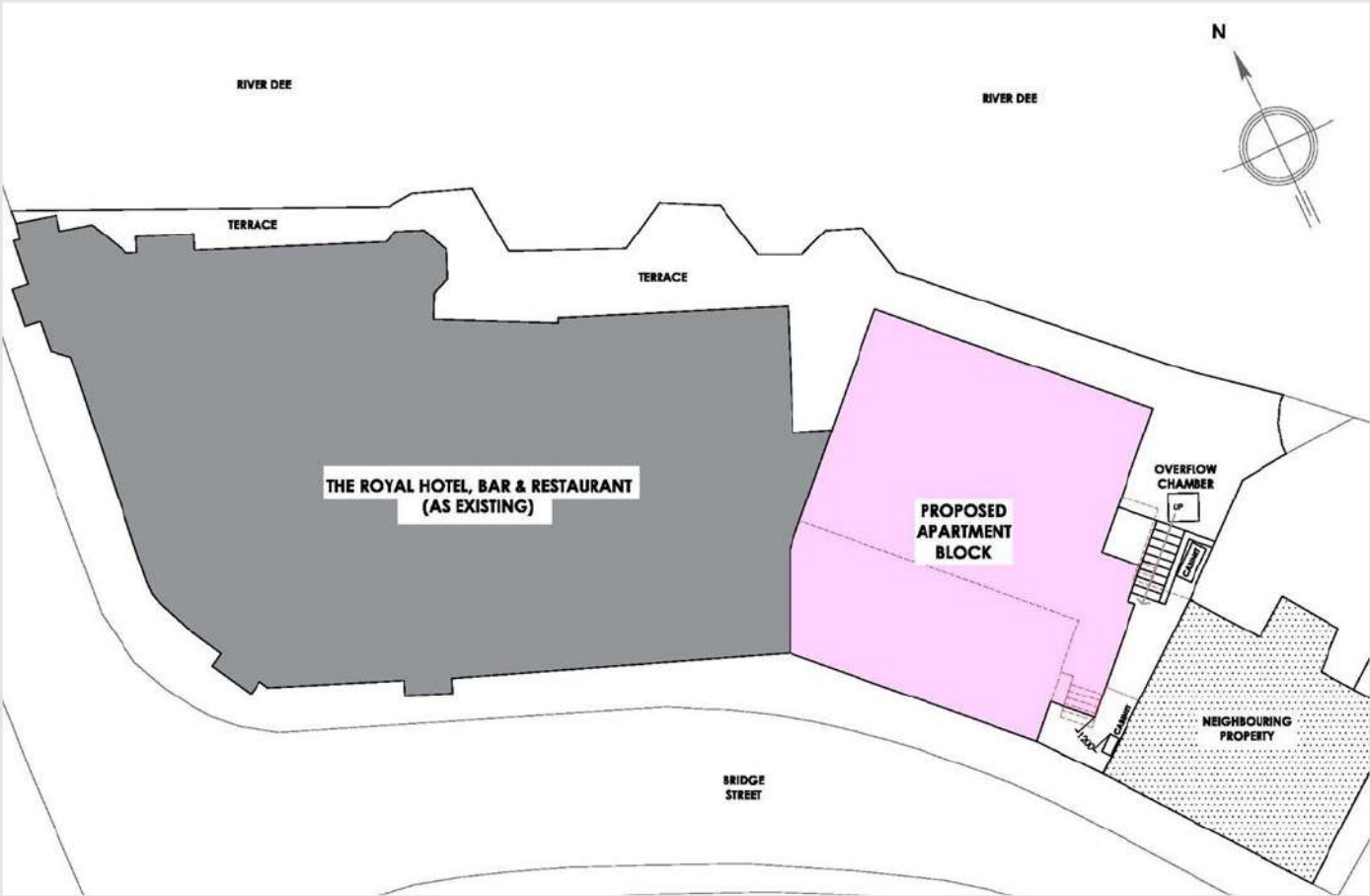
Cais Cynllunio Llawn ar gyfer trosi ac ymestyn rhan o
Westy I ffurfio 12 o fflatiau preswyl
- Gwesty The Royal Hotel, Llangollen. LL20 8PG.

ATODLEN 1B: CYHOEDDUSRWYDD AC YMGYNGHORI CYN GWNEUD CAIS AM GANIATÂD CYNLLUNIO
HYSBYSIAD O DAN ERTHYGLAU 2C A 2D
Gorchymyn Cynllunio Gwlad a Thref (Gweithdrefn Rheoli Datblygu) (Cymru) 2012

Dyddiad: 13 Mawrth 2024



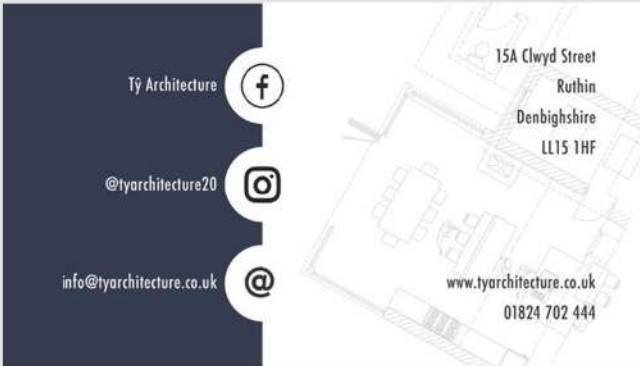
Rhoddir rhybudd bod Mavi Royal Cyf. yn bwriadu gwneud cais am
Ganiatâd Cynllunio Llawn ar gyfer trosi ac ymestyn rhan o Westy I ffurfio
12 o fflatiau preswyl
- Gwesty The Royal Hotel, Llangollen. LL20 8PG



Bydd y Datblygiad yn cynnig cymysgedd o:

6 Fflat gyda 1 llofft

6 Fflat gyda 2 llofft



Mae'r hysbysiad hwn yn rhoi cyfle i wneud sylwadau yn uniongyrchol i'r datblygwyr ynglŷn â'r datblygiad arfaethedig cyn cyflwyno cais am ganiatâd Cynllunio i Adran Cynllunio Sir Ddinbych. Bydd unrhyw gais Cynllunio dilynol yn cael ei hysbysebu gan yr ACLI perthnasol; ni fydd unrhyw sylwadau a ddarperir gennych wrth ymateb i'r hysbysiad hwn yn lleihau dim ar eich gallu i gyflwyno sylwadau i'r ACLI ar unrhyw gais Cynllunio cysylltiedig. Dylech nodi y gellir gosod unrhyw sylwadau a gyflwynir gennych yn y ffeil gyhoeddus.

Gallwch eu gweld ar-lein:

www.royalhotelllangollen.co.uk

Mae cyfleusterau cyfrifiadurol ar gael i weld yr wybodaeth hon yn:

Ty Architecture Cyf, 15a Clwyd Street, Ruthin. LL15 1HF

Os ydych angen copi ar e-bost neu ar bapur, cysylltwch â ni ar:

01824 702444 neu drwy e-bost i: info@tyarchitecture.co.uk



Proposed Ground Floor Plan

Mae'n rhaid i unrhyw un sy'n dymuno gwneud sylwadau ynglŷn â'r Datblygiad Arfaethedig hwn ysgrifennu atom os gwelwch yn dda:

Ty Architecture 15a Clwyd Street, Ruthin. LL15 1HF

Neu drwy e-bost i: info@tyarchitecture.co.uk

erbyn yr 10fed o Ebrill 2024



Proposed First Floor Plan

Bydd y prosiect yn cynnwys gwahanu'r hen estyniad o'r 1970'au a'l drosti i fflatiau a chadw y Gwesty gwreiddiol fel Gwesty, Bar a Bwty.

- APARTMENT COMMUNAL AREA
- PRIVATE 2 BED APARTMENTS
- PRIVATE 1 BED APARTMENTS



Proposed Front Elevation



Proposed Front Elevation



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SURVEYS, INSPECTIONS, REPORTS



**THE ROYAL HOTEL
BRIDGE STREET
LLANGOLLEN
DENBIGHSHIRE
LL20 8PG**

BUILDING DEVELOPMENT

Updated Bat Emergence Survey



The Royal, Llangollen.

| | |
|---------------------------|------------------------------------|
| Client | Knights Construction Ltd |
| Planning Authority | Denbighshire County Council |
| Grid Reference | SJ21454210 |
| Dates of Surveys | 2 and 4 July 2022 |
| Reference | 072022/BES/KCL |



PRO3755



UK/I 0343A

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Client: Knights Construction
Ref: 072022/BES/KCL

Bat Emergence Survey
Royal Hotel, Llangollen

5 July 2022
page 2 of 26



1.0 SUMMARY

It is proposed to construct a steel-framed roof-top terrace at the Southeast-end of the hotel (where the previous flat-roofed single-storey building has been demolished) and construct a mezzanine floor in the central quadrant area, with a new access doorway provided by enlarging one of the existing window openings on the 1st floor of the South elevation wall of the existing dining room, adjacent to the North of the quadrant area. The planning process requires that ecological surveys be carried out to highlight any potential conflict regarding the protected species (bats and birds), and the proposed development work. The results of the surveys will guide what mitigation/compensation measures are required.

An initial scoping survey was carried out on 10 May 2019 by licensed bat worker, Stephen Cutmore. No bats were encountered and no evidence of recent bat activity was observed.

A further emergence survey was carried out on 20 June 2019 by Stephen Cutmore and two assistant surveyors (see report dated 24 June 2019). No bats were observed emerging from the three-storey buildings or the flat-roofed single-storey building at the Southeast end of the hotel (which was to be demolished).

The planning application was amended to also include constructing the new mezzanine layer in the quadrant area. As the previous report was older than 2 years, a further emergence survey was carried out on 3 May 2022 by Stephen Cutmore and two assistant surveyors and an updated report provided (dated 4 May 2022).

The County Ecologist made further objections and requested that a series of three additional emergence surveys be carried out. Matthew Ellis (Local NRW Officer) was emailed to explain that as there is no work being carried out to the roof where the bat roosts were located, carrying out further emergence surveys would cause an additional delay, incur further expense to the client and seemed completely unnecessary and unjustified. Following the consultation, he advised that as one survey had already been carried out during this current season in May 2022, an additional two surveys should be carried out, but instead of leaving the usual two week period between surveys, he said that the surveys could be carried out with only one day between surveys. Two additional emergence surveys were therefore carried out on 2 and 4 July 2022 by Stephen Cutmore and two assistant surveyors.

During the emergence surveys on 2 and 4 July 2022, 2 x Common Pipistrelle bats emerged from beneath ridge tiles on the roof of the dining room section, adjacent to the North side of the central quadrant area.

As no offence is likely to be committed, therefore a Derogation licence will not be required from Natural Resources Wales for this proposed development scheme.

Reasonable Avoidance Measures and provision of bat-friendly features in the proposed development will minimise disturbance to bats and keep in line with Local Biodiversity Action Plans. If Reasonable Avoidance Measures are followed, the proposed scheme is likely to have a low impact on the favourable conservation status of the locally recorded bats.



2.0 INTRODUCTION

2.1 Brief

Stephen Cutmore, a licensed bat worker (NRW[78542: OTH: CSAB: 2018], NE[2015-16936-CLS-CLS]), was commissioned by Joel Smith, Knights Construction Ltd, to carry out protected species surveys of the Royal Hotel, Bridge Street, Llangollen, Denbighshire, LL20 8PG.

The definition of the assignment was to:

1. Carry out two further bat emergence surveys (to update the previous updated report dated 4 May 2022), to determine if any bats are roosting in the buildings.
2. Provide an updated report with mitigation measures.

2.2 Purpose of this report

The purpose of this report is to advise you of the results of the parts 1 & 2 of the assignment. These results are set forth in the *Conclusions* section, following. This report describes the field conditions as found and interpreted.

2.3 Scope of report

Date of consultation.

The field surveys were made on 2 and 4 July 2022, and observations and conclusions are as of those dates.

Limit of scope.

This is solely a protected species survey results report and cannot comment on topics outside this discipline. If additional advice is required, it is strongly recommended that other professionals are consulted.

Unless stated otherwise:

- 1) information contained in this report covers only those buildings that were examined:
- 2) the inspection is limited to visual examination of the buildings, utilising a high powered torch and an endoscope. Emergence surveys utilise electronic bat detectors.
- 3) there is no warranty or guarantee, expressed or implied, that bats may not utilise the buildings after the survey has been completed, that are not discovered utilising the buildings during the inspection. Bats are highly mobile and some species frequently move roosts. It may be possible that bats could move into a building after a survey has taken place. An assessment of the suitability of the building to support roosting bats has therefore been carried out, to establish the likelihood of this occurring.
- 4) this report has been prepared for the sole use and benefit of the client. Any liability of Stephen Cutmore Arboricultural & Ecological Services shall not be extended to any third party.



2.0 INTRODUCTION (continued)

2.4 Relevant background information

It is proposed to construct a steel-framed roof-top terrace at the Southeast-end of the hotel (where the previous flat-roofed single-storey building has been demolished) and construct a mezzanine floor in the central quadrant area, with a new access doorway provided by enlarging one of the existing window openings on the 1st floor of the South elevation wall of the existing dining room, adjacent to the North of the quadrant area. The planning process requires that ecological surveys be carried out to highlight any potential conflict regarding the protected species (bats and birds), and the proposed development work. The results of the surveys will guide what mitigation/compensation measures are required.

2.5 Qualifications

Stephen Cutmore has over twenty five years' experience as an arboricultural consultant and over fifteen years' experience as an ecological consultant. Stephen holds a BSc (Hons) in Arboriculture & Urban Forestry and is a Chartered Arboriculturist. Stephen is a member of the Bat Conservation Trust (102994) and a member of Clwyd Bat Group. Stephen has been a Licenced Bat Worker since May 2007 and a Licenced Amphibian Worker since March 2011 and currently holds bat licences with NRW and NE (NRW[S087991/1], NE[2015-16936-CLS-CLS]) and GCN licences with NRW and NE (NRW[S088921/1], NE[2016-19908-CLS-CLS]).

2.6 Copyright

Copyright © 2022 by Stephen Cutmore. All rights reserved. This report or any parts thereof may not be reproduced without the prior written permission of the author.



3.0 DATA COLLECTION

3.1 Site Description

The Royal Hotel, Bridge Street, Llangollen, Denbighshire, LL20 8PG, is located at Grid Reference SJ21454210. The site is located in the town of Llangollen. The site is located approximately 64m to the South of the A542 Abbey Road/A539 Mill Street, on the South bank of the River Dee. The A5(T) Berwyn Road is some 177m to the South of the site.

The Shropshire Union Canal is approximately 123m to the North. The surrounding landscape has improved pasture fields with native hedgerows and trees. The site is near to Geraint Hill (aka Barber's Hill) to the West and Pen y Coed to the East. Other areas of woodland are in the locality. All these landscape features provide good habitat for foraging bats.



Figure 1: Aerial photograph of the Royal Hotel, Llangollen, showing good connectivity in the surrounding landscape.

3.2 Methodology

3.2.1 Bat emergence survey

In order to update the previously updated report (dated 4 May 2022), two further emergence surveys were carried out on 2 and 4 July 2022. Please note that as clearly stated in all the previous emergence survey reports regarding this site, the emergence surveys were carried by Stephen Cutmore and two assistant surveyors [this means Stephen did not attempt to view the buildings on his own (like he did on the initial scoping survey), but had assistant surveyors watching all aspects of the buildings being surveyed]. The surveyors took up strategic positions around the buildings, which were visually monitored to check for any emerging bats. Electronic bat detectors (Anabat Walkabout and Anabat Scout), were used to record and analyse the frequencies of bat echo-location calls. The observed flight pattern of the observed bats and the frequency of the echolocation calls enabled the species of bat to be identified.



3.0 DATA COLLECTION (continued)

3.3 Results

3.3.1 Emergence surveys

1st Evening emergence 2 July 2022

The emergence survey started at 21.25hrs, with sunset time of 21.41hrs. The starting air temperature was recorded as 16°C. The weather was dry with clear skies. There was a gentle breeze.

The survey was stopped at 23.15hrs, with a finishing temperature of 14°C.

The first bat was detected at 20.59hrs and observed flying South from the river high over the hotel site. Echolocation calls recorded [18kHz] identified it as a Noctule (*Nyctalus noctula*). At 22.06hrs three Noctule bats were observed foraging over the river and over the hotel site. These bats made frequent foraging/commuting passes throughout the survey.

At 21.59hrs a bat was observed emerging from beneath a ridge tile near the Southeast end of the dining room building, adjacent to the North of the quadrangle area. Echolocation calls recorded [45kHz] identified this as a Common Pipistrelle (*Pipistrellus pipistrellus*). The bat flew out of the quadrant and then foraged around the buildings and road to the Southeast of the hotel.

At 22.12hrs a second Common Pipistrelle bat was observed emerging from the same location.

At 22.19hrs a bat was observed and detected flying onto the site from the East and foraging around the quadrant area. Echolocation calls recorded [47kHz] identified this as a Myotis species. The call was analysed using Anabat Insight software, which identified it as a Whiskered (*Myotis mystacinus*) or a Brandt's (*Myotis brandtii*).

At 22.11hrs a bat was observed flying onto the site from the river and foraging around the Southeast of the hotel site. Echolocation calls recorded [55kHz] identified this as a Soprano Pipistrelle (*Pipistrellus pygmaeus*).

The Pipistrelle species bats made constant foraging/commuting passes around the buildings near the Southeast of the site throughout the survey.



3.0 DATA COLLECTION (continued)

3.3 Results

3.3.1 Emergence surveys

2nd Evening emergence 4 July 2022

The emergence survey started at 21.25hrs, with sunset time of 21.40hrs. The starting air temperature was recorded as 15°C. The weather was dry with 50% cloud cover. There was a gentle breeze.

The survey was stopped at 23.10hrs, with a finishing temperature of 14°C.

The first bat was detected at 21.43hrs and was observed emerging from beneath a ridge tile near the Southeast end of the dining room building, adjacent to the North of the quadrangle area. Echolocation calls recorded [45kHz] identified this as a Common Pipistrelle (*Pipistrellus pipistrellus*).

At 21.52hrs a second Common Pipistrelle bat was observed emerging from the same location.

At 21.52hrs a bat was observed flying high over the hotel site. Echolocation calls recorded [18kHz] identified it as a Noctule (*Nyctalus noctula*). Throughout the survey several Noctule bats were observed making frequent foraging/commuting passes over the site.

At 22.05hrs a bat was observed and detected flying onto the site from the Southeast and foraging around the quadrant area, before flying South over the roof of the hotel. Echolocation calls recorded [47kHz] identified this as a Myotis species. The call was analysed using Anabat Insight software, which identified it as a Natterer's (*Myotis nattereri*).

At 22.11hrs a bat was observed flying onto the site from the East and foraging around the Southeast of the hotel site. Echolocation calls recorded [55kHz] identified this as a Soprano Pipistrelle (*Pipistrellus pygmaeus*).

The Pipistrelle species bats made constant foraging/commuting passes around the buildings near the Southeast of the site throughout the survey.

3.3.3 Nesting birds

Evidence of nesting birds was observed in the form of Feral Pigeon (*Columba livia domestica*), nesting and roosting on the external window ledges, pipework etc. of the buildings surrounding the quadrangle area.



4.0 SITE EVALUATION

The Shropshire Union Canal is approximately 123m to the North. The surrounding landscape has improved pasture fields with native hedgerows and trees. The site is near to Geraint Hill (aka Barber's Hill) to the West and Pen y Coed to the East. Other areas of woodland are in the locality. All these landscape features provide good habitat for foraging bats.

During the initial scoping survey on 10 May 2019 no bats were encountered and no evidence of recent activity was observed in the form of droppings, feeding remains etc.

During the emergence survey on 20 June 2019 no bats were observed emerging from the three-storey hotel buildings or the flat-roofed single-storey building at the Southeast of the site.

During the emergence survey on 3 May 2022, 3 x Common Pipistrelle bats emerged from beneath ridge tiles on the roof of the dining room section, adjacent to the North side of the central quadrant area.

During the emergence surveys on 2 and 4 July 2022, 2 x Common Pipistrelle bats emerged from beneath ridge tiles on the roof of the dining room section, adjacent to the North side of the central quadrant area.

No bats were observed emerging from the other three-storey hotel buildings at the Southeast end of the hotel.

Noctule, Soprano, Natterers and Whiskered/Brandt's bats were detected foraging in the vicinity of the site.

5.0 IMPACT ASSESSMENT

5.1 Short-term impact

Disturbance through increased human presence, noise and changes in site layout may have a short-term detrimental effect on foraging bats.

5.2 Long-term impact – roost losses

The proposed work is to construct a steel-framed roof-top terrace at the Southeast-end of the hotel (where the previous flat-roofed single-storey building has been demolished) and construct a mezzanine floor in the quadrangle area, with a new access doorway provided by enlarging one of the existing window openings on the 1st floor of the South elevation wall of the existing dining room. **No work is to be carried out to any of the roofs of any of the three-storey hotel buildings (no stripping/re-slating, no repairs, no 'marrying in' new roofs to existing roofs, NO WORK AT ALL).** NO bat roosts will be disturbed/damaged/destroyed during the proposed development, therefore no short-term impact is likely on the locally recorded bats.

5.3 Long-term impact – fragmentation and isolation

There is no vegetation in the immediate vicinity of the hotel complex, apart from a Corsican Pine tree on the East boundary, which is being retained. There will be no long-term impact due to fragmentation and isolation.



5.0 IMPACT ASSESSMENT (continued)

5.4 Post-development interference impacts

Any bright, artificial lighting on roost entrances and flightlines would be negative. Any lighting should be low level, with illumination directed downwards to minimise impact (see 7.4 Lighting below).

5.5 Predicted scale of impact

The proposed development would have a low impact on the favourable conservation status of locally recorded bats. Reasonable Avoidance Measures and the provision of bat-friendly features will minimise the impact on locally recorded bats.

6.0 CONCLUSIONS

6.1 Bats

Two Common Pipistrelle bats were observed emerging from beneath ridge tiles on the roof of the dining room section of the hotel, adjacent to the North side of the quadrangle area.

No bats were observed emerging from the other three-storey hotel buildings at the Southeast end of the hotel, in the vicinity of where the flat-roofed single-storey building was previously demolished.

Noctule, Soprano, Natterers and Whiskered/Brandt's bats were detected foraging in the vicinity of the site (Note: they did not emerge from the buildings).

The Royal Hotel, Bridge Street, Llangollen is therefore a known roost. The slate covered pitched roof of the three-storey hotel building, (where the dining room is located on the first floor, adjacent to the North of the central quadrant area), is being used as a small day roost by up to 3 x Common Pipistrelle bats (3 emerged on May 2022 survey, just 2 emerged on July 2022 surveys).

The proposed work is to construct a steel-framed roof-top terrace at the Southeast-end of the hotel (where the previous flat-roofed single-storey building has been demolished). The site is denoted by the red arrow. There is **NO WORK** being carried out to the roof of the three-storey roof of the hotel building, denoted by the green arrow.



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6.0 CONCLUSIONS

6.1 Bats

The proposed work is to also construct a mezzanine floor in the central quadrangle area, with a new access doorway provided by enlarging one of the existing window openings on the 1st floor of the South elevation wall of the existing dining room.



To ensure I explain the situation as clearly as I can and to avoid any possible further confusion/misunderstanding, the above photo shows the three-storey hotel building, adjacent to the North side of the central quadrant area. The white arrow denotes the Ground Floor. The red arrow denotes the First Floor. The blue arrow denotes the Second Floor. The green arrow denotes the pitched roof covered with natural slates on top of the three-storey building.

The only work to this three-storey building is to provide a new access to the proposed mezzanine floor area (which will be located within the central quadrant area), by creating a doorway in the South elevation wall (the side of the building the above photo shows) by enlarging one of the existing window openings on the 1st floor of the South elevation wall of the existing dining room (denoted by the red arrow).

There is no work to be done on the Second Floor of the building (denoted by blue arrow). There is no work to be done to the roof (denoted by green arrow).

To be specifically clear: **No** work is to be carried out to this roof (**no** stripping/re-slating, **no** repairs, **no** 'marrying in' new roofs to existing roofs etc.). Creating the new doorway access in the First Floor level will **not involve any** work to this roof.

In fact, **THERE IS NO WORK TO BE DONE TO ANY OF THE SLATE COVERED ROOFS OF THE ENTIRE HOTEL BUILDING COMPLEX DURING THE PROPOSED WORKS.**



6.0 CONCLUSIONS

6.1 Bats

As **no** work will be carried out to the roofs, **NO** bat roosts will be disturbed/damaged/destroyed during the proposed development. As **no** offence is likely to be committed, therefore a Derogation licence will **not** be required from Natural Resources Wales for this proposed development scheme.

The County Ecologist raised concerns about the impact of the proposed development on the nearby River Dee, which is designated a Site of Special Scientific Interest and also a Special Area of Conservation, especially regarding additional illumination.

Any bright, artificial lighting on roost entrances and flightlines would be negative. The existing floodlights observed on the fence adjacent to the North boundary/riverbank are defunct and will be removed. Mitigation will ensure that any lighting will be low level, with illumination directed downwards, to minimise impact on bats and other species (see 7.4 Lighting below). In particular, in the East area of the hotel site adjacent to the river, illumination will be directed downwards and away from the river, therefore not illuminating the SAC/SSSI, so there is no predicted impact from Artificial Light at Night [ALAN].

It was observed during the emergence surveys that the new street lighting installed by the County Highways department on the bridge, is causing significant light spillage onto the river corridor and therefore likely disturbing bats and other wildlife species on the SAC/SSSI.

Reasonable Avoidance Measures and provision of bat-friendly features in the proposed development will minimise disturbance to bats and keep in line with Local Biodiversity Action Plans. If Reasonable Avoidance Measures are followed, the proposed scheme is likely to have a low impact on the favourable conservation status of the locally recorded bats.

6.2 Nesting birds

Evidence of nesting birds was observed in the form of Feral Pigeon (*Columba livia domestica*), nesting and roosting on the external window ledges, pipework etc. of the buildings surrounding the quadrant area. Feral Pigeons are classed as a 'pest species' due to the risk they pose to public health and safety (especially as this is adjacent to a restaurant area preparing food). However it should be noted that even 'pest species' are protected by UK wildlife legislation. Any work that could disturb active bird nests containing eggs or chicks, will be carried out outside of bird nesting season (1st March-30th September), to avoid an offence being committed.



7.0 MITIGATION AND RECOMMENDATIONS

7.1 REASONABLE AVOIDANCE MEASURES

General recommendations

Timing of the development works is crucial. The optimum time for development work to minimise disturbance to bats is 1st September – 1st May.

Development works

During the construction phase, great care must be taken to protect roosting, torpid or hibernating bats that may be present (bats often move roosts during the year, so this is a precaution in case bats move into an area where roosts were not identified on the surveys). Extreme caution must be exercised when removing building materials, (especially where two materials meet as there is potential for finding bats). The materials should be gently lifted by hand before removal and checked underneath for bats. Check for bats also in timber joints, behind mortar fillets and under lead sheeting. A similar precautionary approach should be taken by checking around window frames, lintels, lintel bearers, doorframes, structural members, wall plates, gaps in stonework, lead flashing etc., before proceeding with any work, to ensure no bats are injured during the works.

The amendments to the European Habitat Regulations came into force in August 2007, which means that the ‘incidental result defence’, which previously covered acts that were the incidental result of an otherwise lawful operation, such as a planning permission, has now been removed. Therefore, if any bats, or signs of bats (droppings etc.) are encountered, work should stop immediately and not resume until advised by an ecologist. If any bats are discovered, Natural Resources Wales must be notified as to what bat species and numbers were encountered and what action has been taken.

Any proposed development works which may affect nesting birds should be carried out between October – March to avoid the nesting season.

7.2 BAT ROOSTING OPPORTUNITIES

It is recommended that bat friendly features be incorporated into the proposed development, as wildlife enhancements, in order to keep in line with the Local Biodiversity Action Plans.

One option is to install a Schwegler 1FQ wall-mounted bat box (75) [available from www.wildcareshop.com], which should be fixed to the South or West-facing external wall of a building, high enough (2 - 3m) to avoid predation by cats. As there are often problems with obtaining supplies of Schwegler products, an equivalent design woodcrete bat box by a different manufacturer will be a suitable alternative. Another option would be to install bat bricks in the external walls, to provide a contained roost space for bats.

Any bat-friendly features to be incorporated in the new development should be detailed on the development plans/drawings.



7.0 MITIGATION AND RECOMMENDATIONS (continued)

7.3 TIMBER TREATMENT

Any timber treatment to protect against insects, fungal growth or weathering in areas with potential to be accessed by bats, should only be carried out utilising chemicals from the Natural Resources Wales approved list. A list of Approved Products is available at <https://www.gov.uk/guidance/bat-roosts-use-of-chemical-pest-control-products-and-timber-treatments-in-or-near-them>, which provides links to Timber Treatment Table 1. If the product is not listed, check the active ingredients listed in Timber Treatment Tables 2-7.

You can't use chemical products in or near a known bat roost if there are bats present. The best time to apply treatments is usually between autumn and spring.

Pre-treated timber products

Pre-treated timber products are not included in the tables mentioned above. You can use timber that's been pre-treated off-site, because the chemicals are injected deep into the timber leaving lower concentrations on the surface which isn't harmful to bats. However you shouldn't apply products used to pre-treat timber on-site, because the active ingredients will be more concentrated on the timber surface and may be harmful to bats.

Stains and preservatives

Decorative wood finishes, like stains or wood preservative, can be used around bat roosts as long as you only use them on external timber.

7.4 LIGHTING

Bats can be disturbed by bright, artificial lighting at night (ALAN). Where lighting is essential in the vicinity of any proposed new development, subdued lighting should be used and the illumination should be directed downwards to where it is needed (upward light ratio 0%) and light spillage avoided. This can be achieved by the design of the luminaire and by using accessories such as hoods, cowls, louvres and shields to direct the light to the intended area only. The light should be as low as guidelines permit. If lighting is not needed in any particular area, do not light.

LED luminaires should be used where possible, with a warm white spectrum (<2700Kelvin) to minimise blue light component. Luminaires should have peak wavelengths higher than 550nm to avoid the component of light most disturbing to bats. Alternatively, the use of low pressure sodium lamps or high pressure sodium instead of mercury or metal halide lamps where glass glazing is preferred due to its UV filtration characteristics. The use of motion sensor-triggered security lighting with short (1 min) timers, is preferable to permanent lighting. If roosting opportunities are to be incorporated into the new development, it is essential that roost access points and flightlines used for foraging/commuting (e.g. hedgerows, lines of trees) are not illuminated. The use of soft landscaping and fencing [supported by concrete posts to ensure long-term contribution] can be used to screen light spill. The latest Guide Note 08/18 can be downloaded at www.theilp.org.uk/documents/guidance-note-8-bats-and-artificial-lighting/

Hilclare Lighting (www.hilclare.com) provide suitable lighting products to avoid illumination shining upwards (e.g. the Elmira and Madrid models).



7.0 MITIGATION AND RECOMMENDATIONS (continued)

7.4 LIGHTING

Numerous lighting design software programmes are currently available which can be used to predict where the light cone and light spill will occur, which produce an image of the site in question, showing how the area will be affected by light spill when all the factors of the lighting components listed above are taken into consideration. This should be a useful tool for the architect/designer, to help inform lighting plans, demonstrating how lighting decisions will illuminate a site.

7.5 BIRD NESTING OPPORTUNITIES

Consideration should be given to providing some simple measures that would have a positive conservation benefit on local bird populations. These may be in the form of eaves built to be suitable for house martins. Suitable crevices left unsealed in exterior stonework or brickwork provides potential for nesting house sparrows. Bird boxes could be fixed to the external walls or installed in the Corsican Pine tree on the East Boundary, to benefit local bird populations.

8.0 WILDLIFE AND THE LAW

8.1 EUROPEAN PROTECTED SPECIES

The Bern Convention (The convention on the conservation of European Wildlife and Natural Habitats) was adopted in 1979 and came into force in 1982. To implement this agreement, the European Community adopted the EC Habitats Directive. The EC Habitats Directive has been transposed into UK legislation by the Wildlife and Countryside Act, 1981 (as amended) and the Conservation of Habitats and Species Regulations, 2010. The Countryside and Rights of Way Act (CROW), 2000 strengthened the existing wildlife legislation in the UK. The UK has also signed the Bonn Convention (The Convention on the Conservation of Migratory Species of Wild Animals) and is therefore party to various agreements.

As from 30th November 2017 the legislation relating to European Protected Species has been consolidated into a new Regulation "The Conservation of Habitats and Species Regulations 2017".

8.1.1 Bats

All 17 bat species found in the UK and their roosts are protected in the UK under Schedules 5 and 6 of the Wildlife & Countryside Act 1981 (as amended) and are therefore afforded protection under Section 9 of this Act. The Countryside Rights of Way Act (CROW) 2000 strengthened the existing wildlife legislation in the UK.

In addition, five British bat species are also listed on Annex II [and all bats are listed on Annex IV] of the EC Habitats Directive, which is transposed into national law by means of The Conservation of Habitats and Species Regulations (2017).

These are:

- Greater horseshoe bat (*Rhinolophus ferrumequinum*);
- Lesser horseshoe bat (*Rhinolophus hipposideros*);
- Bechstein's bat (*Myotis bechsteinii*);
- Barbastelle (*Barbastella barbastellus*) and
- Greater mouse-eared bat (*Myotis myotis*).



8.0 WILDLIFE AND THE LAW (continued)

8.1 EUROPEAN PROTECTED SPECIES

8.1.1 Bats

Bats are listed under Appendix III of the Bern Convention. Bats and their habitats are also listed under Appendix II of the Bonn Convention and therefore the UK has an obligation to protect their habitat, including links to important feeding areas. The UK had designated maternity and hibernacula areas as Special Areas of Conservation (SACs) under the Habitats Directive. Implementation of the UK Biodiversity Action Plan also includes action for a number bat species and the habitats which support them.

8.1.2 Legislation relating to European Protected Species

In relation to a development a person commits an offence if they –

- Deliberately captures, injures or kills a European Protected Species
- Deliberately or recklessly disturbs wild animals of any such species in such a way as to be likely significant to affect:
 - (i) the ability of any significant group of animals to survive, breed, or rear or nurture their young; or
 - (ii) the local distribution or abundance of that species;
- Damages or destroys a breeding site or resting place (even if unintentional or when the animal is not present)
- Intentionally or recklessly obstructs access to a structure or place used for protection or shelter
- This legislation applies, regardless of the life stage (including eggs).

A European Protected Species Licence is required to carry out any activity that would otherwise involve committing an offence.

To avoid disturbance during habitat management, a written strategy is required following guidance provided by Natural Resources Wales. If the guidance is followed and major disturbance can be avoided, then a licence is not required.

8.1.3 European Protected Species Licences

At the present time, Natural Resources Wales requires the following three ‘tests’ to be met, in order that a licence may be granted.

Test 1. Regulation 53 (2) (e) states that licences granted to ‘preserve public health, or public safety or other imperative reasons of overriding public interest, including those of a social or economic nature and beneficial consequences of primary importance for the environment’.

Test 2. Regulation 53 (9) (a) states that a licence may not be granted unless the licensing authority is satisfied ‘that there is no reasonable alternative’.

Test 3. Regulation 53 (9) (b) states that a licence cannot be issued unless the licensing authority is satisfied that the action proposed ‘will not be detrimental to the maintenance of the species concerned at a favourable conservation status in its natural range’.



8.0 WILDLIFE AND THE LAW (continued)

8.1.4 Recent changes in Licences

Following a recent intervention from the European Court, there have been significant changes in the interpretation of the way licences are issued. In considering a licence request, Natural Resources Wales will seek information relating to the size and importance of the population/colony and will require evidence to demonstrate that the species will be maintained 'at a favourable conservation status in their natural range'. In effect, this means that to obtain a licence, Natural Resources Wales must be satisfied that the applicant will implement mitigation to safeguard (and ideally enhance) the population concerned. Natural Resources Wales will need to see evidence that the development work which will disturb/destroy a roost site will be undertaken using current best practice, also that the bats can be provided with an alternative roost site on or in the immediate area.

8.1.5 Important EPSL Information

Please note that a European Protected Species Licence can only be obtained once planning permission has been granted. When assessing planning applications where a European Protected Species could be affected by proposed works, the local Planning Authority must take into account the potential impacts on the species concerned. In practice this could make further survey work (such as emergence surveys in the case of bats) essential prior to planning permission being granted. Alternatively the LPA may grant planning permission whilst imposing planning conditions to undertake further survey work. The local Planning Authority must also have regard for the three 'tests' as outlined above – Regulations 53 (2) (e), 53 (9) (a) and 53 (9) (b). Once planning permission has been granted a European Protected Species Licence application can be submitted to Natural Resources Wales. The application requires detailed Method Statements to be produced by a qualified bat ecologist to demonstrate how Regulation 53 (9) (b) can be satisfied. The applicant will also need to complete a Reasoned Statement form demonstrating (with evidence) that Regulations 53 (2) (e) and 53 (9) (a) are satisfied. This involves producing evidence to show that no reasonable alternative to the proposed action is available and that the action must take place to either 'preserve public health, or public safety or other imperative reasons of overriding public interest, including those of a social or economic nature and beneficial consequences of primary importance for the environment.

8.2 OTHER PROTECTED SPECIES - NESTING BIRDS

All wild birds are protected under Part 1 of the Wildlife and Countryside Act, 1981 (as amended). Therefore in the UK it is an offence to:

- Take, damage or destroy the nest of any wild bird whilst it is being built or in use.
- Kill, injure or take any wild bird.
- Take or destroy the eggs of any wild bird.

To avoid committing an offence no works should be carried out on a structure/feature that is being used by nesting birds. Nesting is deemed to be over when the young have fully fledged. Certain species which are listed in Schedule 1 of the Wildlife and Countryside Act receive special protection. In these cases any form of intentional or reckless disturbance when they are nesting or rearing dependent young, constitutes an offence. Any disturbance of nesting birds between 1st March-30th September could constitute a criminal offence.



8.0 WILDLIFE AND THE LAW (continued)

8.3 ENVIRONMENT (WALES) ACT 2016

This Act sets out Wales' approach to planning and managing natural resources at a national and local level with a general purpose linked to statutory 'principles of sustainable management of natural resources' defined within the Act.

The Environment (Wales) Act introduces a new, enhanced Biodiversity and Resilience of Ecosystem Duty on public bodies to ensure that biodiversity is an integral part of decision making. The Duty will replace the existing Natural Environment and Rural Communities (NERC) Act 2006 Duty. Public authorities will be required to report on the actions they are taking to improve biodiversity and promote ecosystem resilience. Section 6 of the Act places a duty on public authorities to seek to maintain and enhance biological diversity (referred to as biodiversity). All public bodies, statutory undertakers, Ministers of the Crown and other public office holders are required to apply the duty when they are carrying on any functions in Wales, or in relation to Wales. Section 7 of the Act is similar to the duty in *section 42 of the NERC Act 2006* which it replaces. It places a duty on the Welsh Ministers to publish, review and revise lists of living organisms and types of habitat in Wales, which they consider are of key significance to sustain and improve biodiversity in relation to Wales.

8.4 PLANNING POLICY WALES FRAMEWORK

Planning Policy Wales (Edition 11, Dec 2021) sets out the Welsh Government's planning policies and how these are expected to be applied. The planning system manages the development and use of land in the public interest, contributing to improving the economic, social, environmental and cultural well-being of Wales, as required by the Well-being of Future Generations (Wales) Act 2015. It should reconcile the needs of development and conservation, securing economy, efficiency and amenity in the use of land, and protecting natural resources and the historic environment. A well-functioning planning system is fundamental for sustainable development.



8.0 WILDLIFE AND THE LAW (continued)

8.5 KEY PRINCIPLES OF PWW (2021)

Chapter 6 'Distinct and Natural Places' provides policies for protection of biodiversity and geological conservation.

Para.6.4.3 Development proposals must consider the needs to:

- support the conservation of biodiversity, in particular the conservation of wildlife and habitats;
- ensure action in Wales contributes to meeting international responsibilities and obligations for biodiversity and habitats;
- ensure statutorily and non-statutorily designated sites are properly protected and managed;
- safeguard protected and priority species and existing biodiversity assets from impacts which directly affect their nature conservation interests and compromise the resilience of ecological networks and the components which underpin them, such as water and soil, including peat; and
- secure enhancement of and improvements to ecosystem resilience by improving diversity, condition, extent and connectivity of ecological networks.

Para 6.4.22 states:

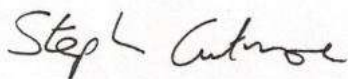
- The presence of a species protected under European or UK legislation is a material consideration when a local planning authority is considering a development proposal which, if carried out, would be likely to result in disturbance or harm to the species or its habitat.
- Local planning authorities should advise anyone submitting a planning application that they must conform with any statutory species protection provisions affecting the site concerned, and should consult Natural Resources Wales before granting permission.
- An ecological survey to confirm whether a protected species is present and an assessment of the likely impact of the development on a protected species may be required in order to inform the planning decision.

Para 6.4.23 states:

- Developments are always subject to the legislation covering European protected species regardless of whether or not they are within a designated site.
- New developments for which development works would contravene the protection afforded to European protected species require derogations from the provisions of the Habitats Directive.
- A derogation may only be authorised if there is no satisfactory alternative and if the action authorised will not be detrimental to the maintenance of the population of the species concerned at a favourable conservation status in its natural range.
- The development works to be authorised must be for the purposes of preserving 'public health or safety, or for other imperative reasons of overriding public interest, including those of a social or economic nature and beneficial consequences of primary importance for the environment'.
- Derogations are granted by a licence issued by Natural Resources Wales. Local planning authorities are under a duty to have regard to the requirements of the Habitats Directive in exercising their functions.

To avoid developments with planning permission subsequently not being granted derogations in relation to European protected species, planning authorities should take the above three requirements for derogation into account when considering development proposals where a European protected species is present.

Report written and compiled by



Stephen Cutmore BSc (Hons)

Licenced Bat Worker (NRW[S087991/1], NE[2015-16936-CLS-CLS])

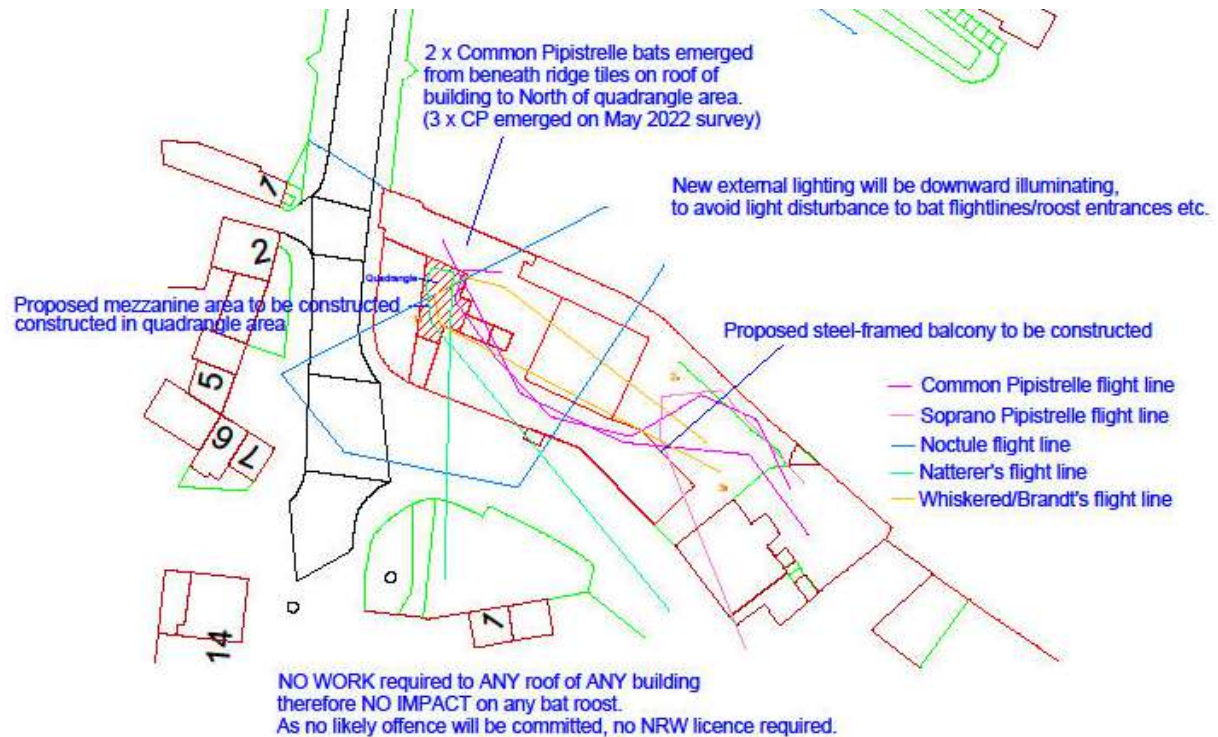
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APPENDIX 1 – Site plan



APPENDIX 2 – Photographs



Photo 1: Common Pipistrelle roost access points in roof of dining room adjacent to North of quadrangle area. (Note – on the May 2022 survey a bat also emerged from near the chimney to the left of the roof).



Photo 2: Three-storey buildings to Southeast of hotel where single-storey building was previously demolished.

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APPENDIX 3 – Grading system for bat habitats

It should be noted that low suitability roosting habitats may be present in commuting/foraging habitats that are of high suitability and vice versa. Roosting habitats and commuting/foraging habitats should be assessed separately and independently.

Table 1: Guidelines for assessing the potential suitability of proposed development sites for bats, based on the presence of habitat features within the landscape, to be applied using professional judgement.

| Suitability | Description Roosting habitats | Commuting and foraging habitats |
|-------------|---|---|
| Negligible | Negligible habitat features on site likely to be used by roosting bats. | Negligible habitat features on site likely to be used by commuting or foraging bats. |
| Low | <p>A structure with one or more potential roost sites that could be used by individual bats opportunistically. However, these potential roost sites do not provide enough space, shelter, protection, appropriate conditions and/or surrounding habitat to be used on a regular basis or by larger numbers of bats (i.e. unlikely to be suitable for maternity or hibernation).</p> <p>A tree of sufficient size and age to contain PFRs but with none seen from the ground or features seen with only very limited roosting potential.</p> | <p>Habitat that could be used by small numbers of commuting bats such as a gappy hedgerow or unvegetated stream, but isolated i.e not very well connected to the surrounding landscape by other habitat.</p> <p>Suitable, but isolated habitat that could be used by small numbers of foraging bats such as a lone tree (but not in a parkland situation) or a patch of scrub.</p> |
| Moderate | A structure or tree with one or more potential roost sites that could be used by bats due to their size, shelter, protection, conditions and surrounding habitat but unlikely to support a roost of high conservation status (with respect to roost types only – the assessments in this table are made irrespective of species conservation status, which is established after presence is confirmed). | <p>Continuous habitat connected to the wider landscape that could be used by bats for commuting such as lines of trees or scrub or linked back gardens.</p> <p>Habitat that is connected to the wider landscape that could be used by bats for foraging such as trees, scrub, grassland or water.</p> |
| High | A structure or tree with one or more potential roost sites that are obviously suitable for use by larger numbers of bats on a more regular basis and potentially for longer periods of time due to their size, shelter, protection, conditions and surrounding habitat. | <p>Continuous, high-quality habitat that is well connected to the wider landscape that is likely to be used regularly by commuting bats such as river valleys, streams, hedgerows, lines of trees and woodland edge.</p> <p>High-quality habitat that is well connected to the wider landscape that is likely to be used regularly by foraging bats such as broadleaved woodland, tree-lined watercourses and grazed parkland.</p> <p>Site is close to and connected to known roosts.</p> |



APPENDIX 4 – Bat Sonographs

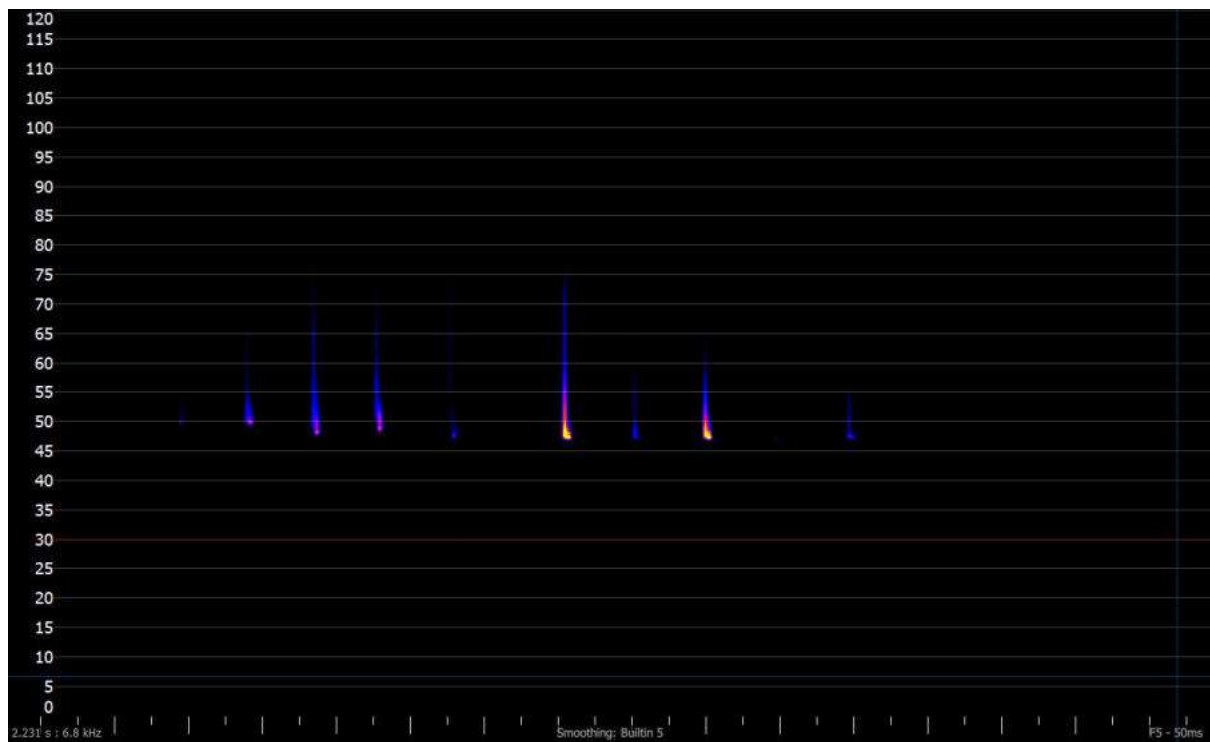


Figure 2: Common Pipistrelle [45kHz] emerging from dining room roof.

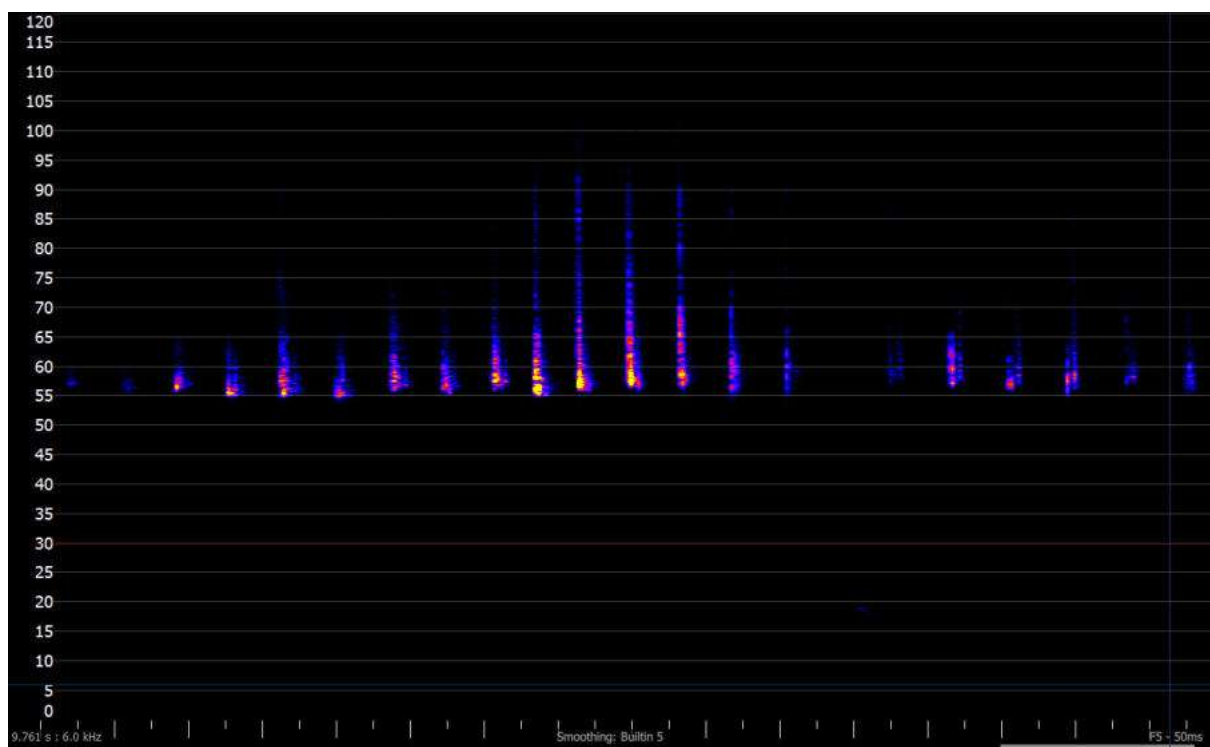


Figure 3: Soprano Pipistrelle [55kHz] foraging over Southeast of site.



APPENDIX 4 – Bat Sonographs

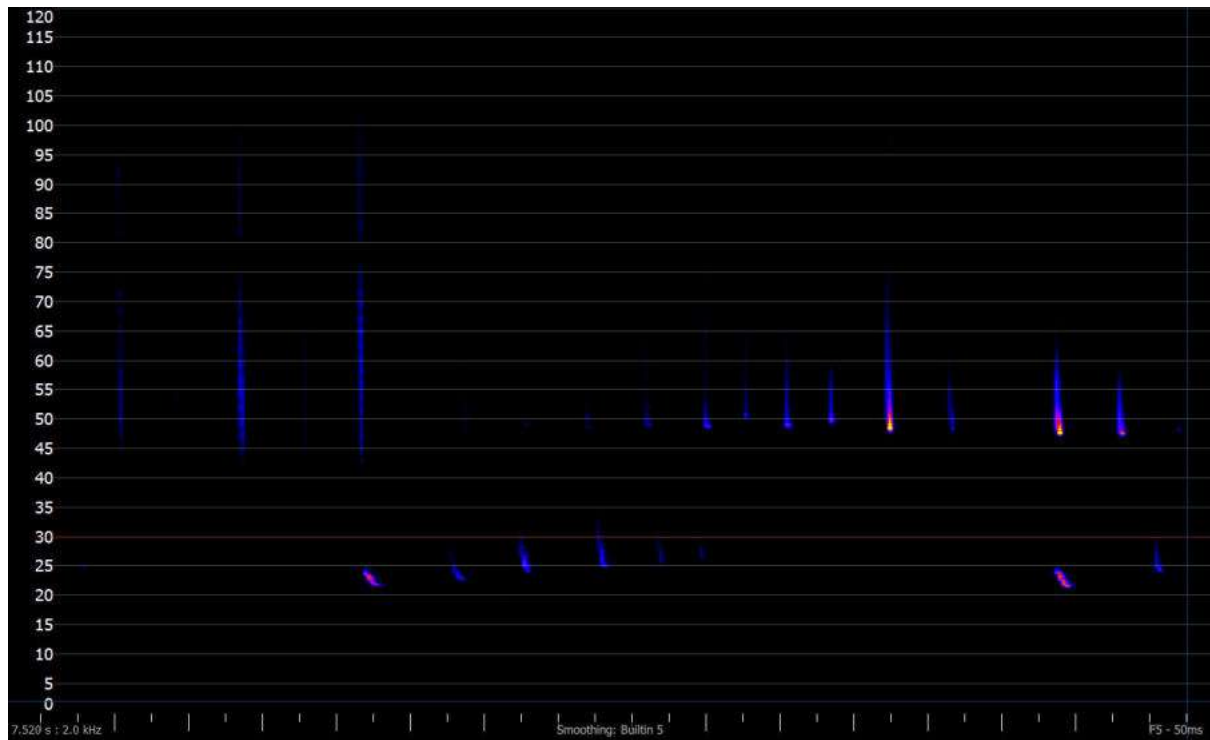


Figure 4: Whiskered/Brandt's [47kHz], Noctule [18kHz] and Common Pipistrelle [45kHz] all foraging within the vicinity of the site at the same time.

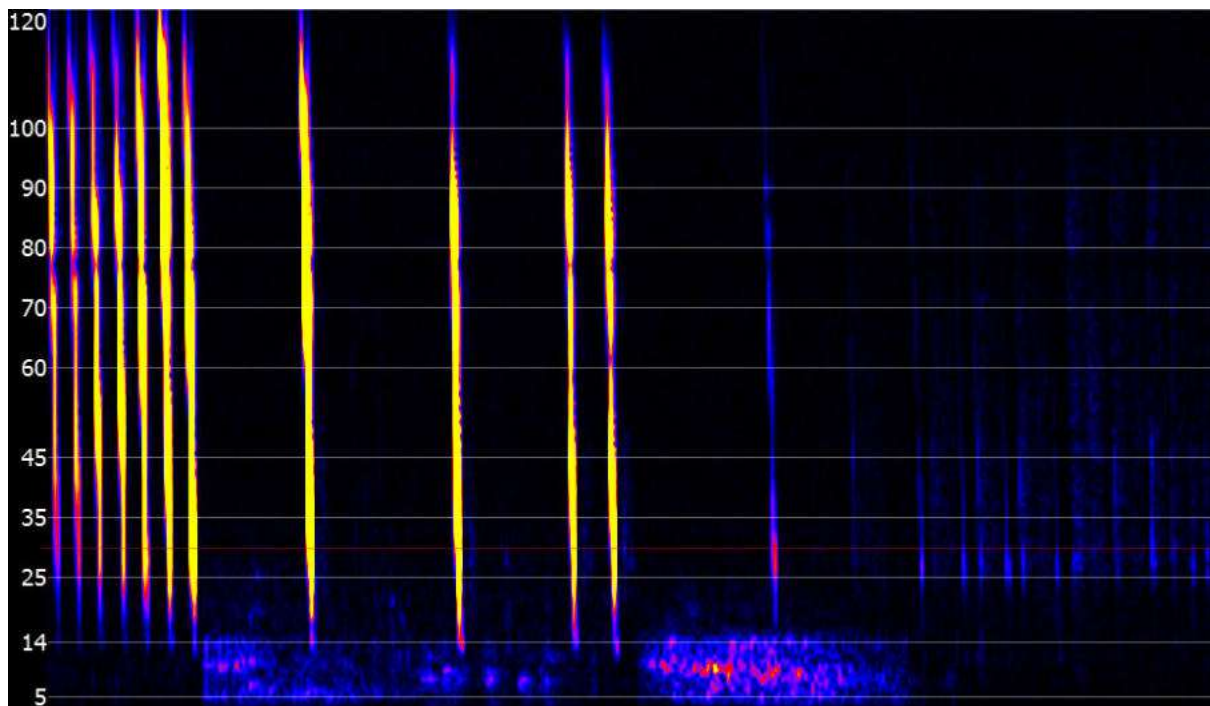


Figure 5: Natterer's [47kHz] foraging around central quadrant area.



APPENDIX 5 – Mitigation details



Figure 6: Schwegler triple front panel (55) bat box.



Figure 7: Schwegler (1FQ) (75) wall-mounted bat box.

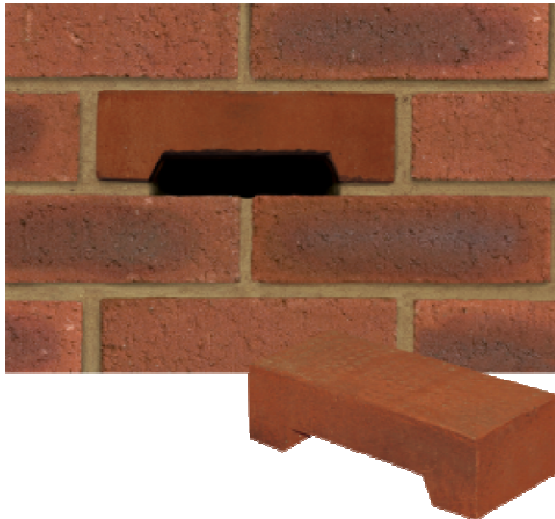


Figure 8: Ibstock type bat brick.



Figure 9: Bat brick habitat box.



APPENDIX 6: Bibliography

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Royal Hotel, Llangollen Heritage Impact Assessment on Conservation Area and Impact on Setting of Designated Assets January 2024



Report by: Trysor

For: Knights Construction Ltd

January 2024



Royal Hotel, Llangollen Heritage Impact Assessment on Conservation Area and Impact on Setting of Designated Assets January 2024

By

Jenny Hall, MCIfA & Paul Sambrook, MCIfA
Trysor

Trysor Project No. 2023/919
HER Event Record PRN – CPAT 215550

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Cover photograph: From the river Dee, looking southwest to the Royal Hotel

Royal Hotel, Llangollen
Heritage Impact Assessment on Conservation Area and Impact
on Setting of Designated Assets
January 2024

RHIF YR ADRODDIAD - REPORT NUMBER: Trysor 2023/919

EVENT RECORD HER PRN – CPAT 215550

DYDDIAD 8^{fed} Mis Ionawr 2024 **DATE** 8th January 2024

Paratowyd yr adroddiad hwn gan bartneriad Trysor. Mae wedi ei gael yn gywir ac yn derbyn ein sêl bendith.

This report was prepared by the Trysor partners. It has been checked and received our approval.

JENNY HALL MCIfA *Jenny Hall*

PAUL SAMBROOK MCIfA *Paul Sambrook*

Croesawn unrhyw sylwadau ar gynnwys neu strwythur yr adroddiad hwn.

We welcome any comments on the content or structure of this report.

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She has been a partner in Trysor since 2004 undertaking a variety of work that includes heritage impact assessments, setting assessments and other desk-based appraisals and assessments, as well as evaluations, watching briefs, building recording and field survey.

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He has been a partner in Trysor since 2004 undertaking a variety of work that includes heritage impact assessments, setting assessments and other desk-based appraisals and assessments, as well as evaluations, watching briefs, building recording and field survey.

Event Record PRN – CPAT HER

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| PRN | CPAT 215550 |
| Name | Royal Hotel, Llangollen Heritage Impact Assessment on Conservation Area and Impact on Setting of Designated Assets November 2023 |
| Type | HERITAGE ASSESSMENT |
| NGR | SJ2154042111 |
| Easting | 321540 |
| Northing | 342111 |
| Summary (English) | In autumn 2023, Trysor undertook a review of a Heritage Impact Assessment completed in 2022. The 2022 assessment was to consider the impact on other designated historic assets in relation to proposals to refurbish and extend the Royal Hotel, Bridge Street, Llangollen, Denbighshire. Planning permission and Listed Building Consent was granted for the scheme. In 2023 alterations to the consented scheme required that the Heritage Impact Assessment was reviewed. © Trysor 2024 |
| Crynodeb (Cymraeg) | Yn hydref 2023, cynhaliodd Trysor adolygiad o Asesiad Effaith Treftadaeth a gwblhawyd yn 2022. Roedd asesiad 2022 i ystyried yr effaith ar asedau hanesyddol dynodedig eraill mewn perthynas â chynigion i adnewyddu ac ymestyn y Royal Hotel, Bridge Street, Llangollen, Sir Ddinbych. Rhoddwyd caniatâd cynllunio a Chaniatâd Adeilad Rhestredig ar gyfer y cynllun. Yn 2023 roedd newidiadau i'r cynllun a ganiatawyd yn ei gwneud yn ofynnol i'r Asesiad o'r Effaith ar Dreftadaeth gael ei adolygu.© Trysor 2024 |
| Description | In autumn 2023, Trysor undertook a review of a Heritage Impact Assessment completed in 2022. The 2022 assessment was to consider the impact on other designated historic assets in relation to proposals to refurbish and extend the Royal Hotel, Bridge Street, Llangollen, Denbighshire. Planning permission and Listed Building Consent was granted for the scheme. In 2023 alterations to the consented scheme required that the Heritage Impact Assessment was reviewed. © Trysor 2024 |
| Sources | Trysor, 2024, Royal Hotel, Llangollen Heritage Impact Assessment on Conservation Area and Impact on Setting of Designated Assets, January 2024 |
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Summary

Trysor have undertaken a review of the heritage impact assessment undertaken in 2022. That assessment was for the impact on the Llangollen Conservation Area, the Pontcysyllte Aqueduct and Canal World Heritage Site and an assessment of the impact on the setting of the intervisible scheduled monuments and listed buildings from the proposed refurbishment and improvement of the Royal Hotel, Llangollen. The scheme was consented in 2022, planning application 03/2022/0173 and Listed Building consent 03/2022/0174. The client wishes to make some variations to the consented scheme to reflect the current market and this report considers those changes.

The proposed variations to the consented scheme include a new-build residential block to replace the new-build spa, an additional stairwell/lift block to service the residential block, no canopy over the riverside decking, and blocking up of the gateway into the courtyard from Bridge Street. The new-build residential block will have similar design elements to the consented spa, but will not feature the stone elements and will have a smaller footprint taking it away from the riverside slightly.

The Llangollen Conservation Area was designated in 1985, with its key characteristics defined in the Conservation Area Appraisal, dating to 1997. In 2016, Cadw undertook an Understanding Urban Character assessment for Llangollen, providing a more detailed assessment of the town's history and character, defining 6 character areas, and providing a Statement of Significance (Cadw, 2016). Both documents have informed this assessment.

Having considered the characteristic elements of the Conservation Area identified in the Conservation Area Appraisal, this assessment concludes that the key characteristics of the Conservation Area will be preserved by the proposed development.

The assessment has found that impacts of the proposed changes on the setting of the Conservation Area range from a Very Low Negative impact on setting caused by the addition of new structural elements to the complex, to a Low Positive impact arising from the renewal of one of the most important buildings in the town. The hotel will be retained as a prominent building serving its original function as a result of the proposed development.

The Royal Hotel does lie within the Essential Setting of the Pontcysyllte Aqueduct and Canal World Heritage Site but there would be no impact on its significance.

1. Introduction

1.1 This document has been prepared by Trysor, at the request of Knights Construction Ltd, to re-assess the impact on the Llangollen Conservation Area, and on the setting of nearby designated historic assets from a proposed variation to consented changes and improvements at the Royal Hotel, Llangollen at SJ2154042111, planning application 03/2022/0173 and Listed Building consent 03/2022/0174.

1.2 The proposed development consists of the refurbishment of the Royal Hotel and includes replacing a 1960s element with a new build, , and a new external décor. A previous heritage impact assessment on the Conservation Area and on the setting of other designated historic assets as undertaken by Trysor in 2022 (Trysor, 2022b).

1.3 A separate document considers the heritage impact of the proposed variations on the Royal Hotel arising from the proposed development (Trysor, 2024).

1.4 The Royal Hotel is a Grade II Listed Building and identified in the Llangollen Conservation Area Appraisal as one of the "top" ten Listed buildings out of 101 listed at the time of the appraisal in 1997. The Royal Hotel lies within the Llangollen Conservation Area and in the essential setting of the Pontcysyllte Aqueduct and Canal World Heritage Site. It also lies in the Llangollen character area of the Vale of Llangollen Historic Landscape.

1.4.1 There are also two Scheduled Monuments within 150 metres of the development: Llangollen Bridge, DE029 and Pontcysyllte Aqueduct and Canal, DE175 and 53 Listed Buildings.

1.4.2 A full setting assessment is included for Llangollen Bridge (Appendix B). The Pontcysyllte Aqueduct and Canal has not been further assessed as it will not be affected by the proposed development as intervening buildings and trees block views of the development. No listed building would experience a negative impact from the development.

1.5 Site visits were made by Trysor on 22/11/2021, 07/01/2022 and previously for a slightly different proposal for the Royal Hotel on 16/05/2019.

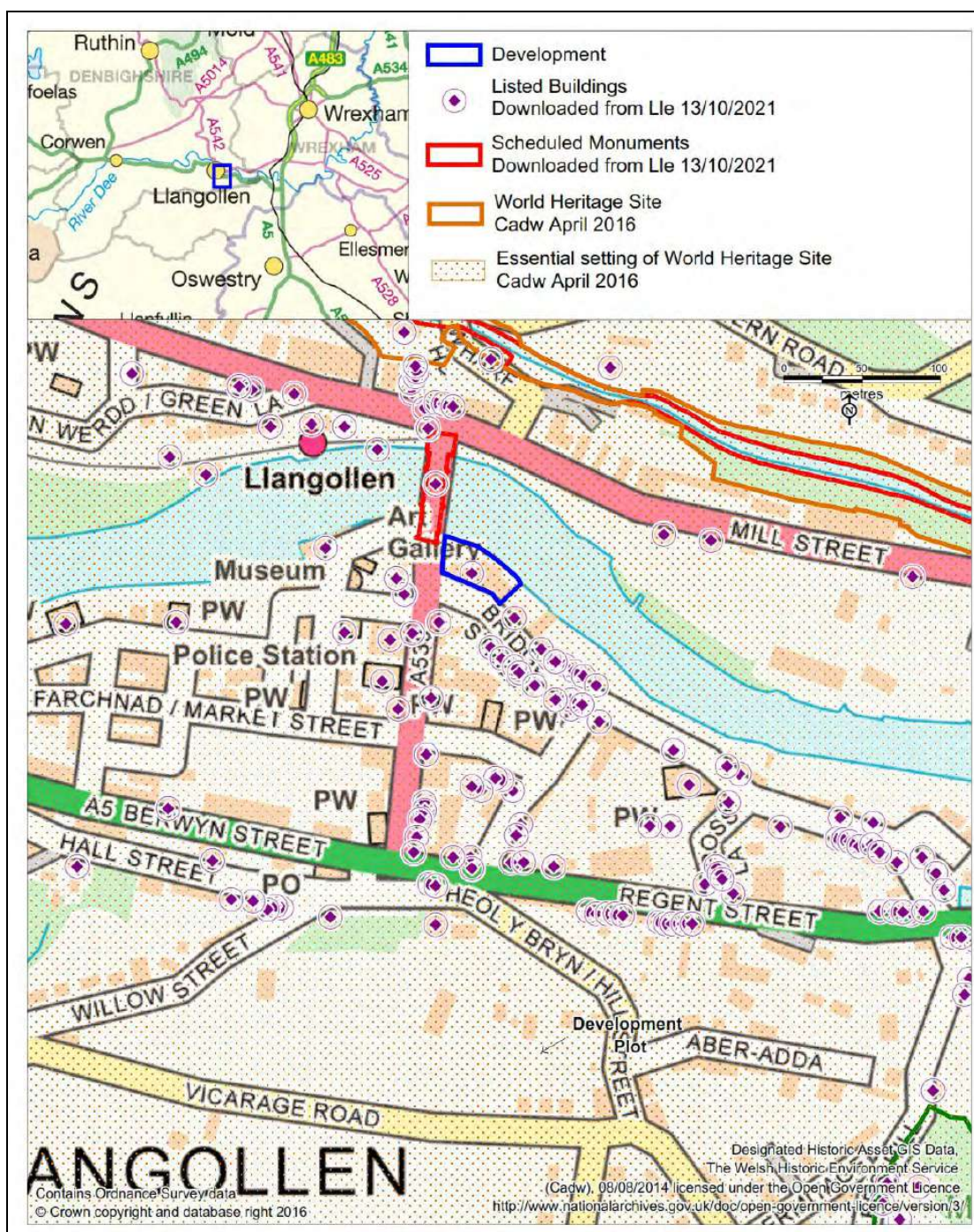


Figure 1: Location of the development site on Bridge Street, Llangollen

2. Methodology

2.1 At the request of Knights Construction Ltd, Trysor have undertaken a review of a heritage impact assessment completed in 2022 (Trysor, 2022). The 2022 report assessed the impact on the Llangollen Conservation Area, the Pontcysyllte Aqueduct and Canal World Heritage Site, and an assessment of the impact on the setting of the intervisible scheduled monuments and listed buildings, from a proposed refurbishment of the Royal Hotel, planning application 03/2022/0173 (Denbighshire) and Listed Building Consent 03/2022/0174 (Denbighshire). Planning permission and Listed Building Consent was granted in August 2022 for that scheme, but some variations to the overall scheme are now proposed. This document assesses if there is a change in impact.

2.2 The process outlined in "*Heritage Impact Assessment in Wales*" has been followed (Cadw, 2017a). This process applies to Conservation Areas as well as individual historic assets and has four stages;

Stage 1: Explain the objective and why changes are desirable or necessary

Stage 2: Understand the significance of the historic asset

Stage 3: Assess the impact of the proposals.

Stage 4: Set out the reasoning behind the preferred option, including design concepts and principles, in the light of the assessment process

2.3 In addition, Cadw's guidance "*Managing Conservation Areas in Wales*" (Cadw, 2017c) has been used to inform this assessment.

2.3.1 The impact on the settings of the scheduled monuments and listed buildings in the vicinity of the proposed development was assessed using the methodology outlined in "*Setting of Historic Assets in Wales*" (Cadw, 2017b). After initial assessment the only designated historic asset which required a full assessment was the Llangollen Bridge, (scheduled monument DE026, Listed Building 1080). Other designated assets were considered together as the change was either neutral or positive.

2.4 Levels of impact are recorded using the terms None, Very Low, Low, Medium, High or Very High. An impact can be negative or positive. Where impacts have equivalent positive and negative values, the term Neutral is used.

3. Heritage Impact Assessment Stage 1: *Explain the objective and why changes are desirable or necessary*

3.1 The objective of the proposed changes is to refurbish the now closed Royal Hotel, which is located on the northern side of Bridge Street, Llangollen.

3.2 The proposed redevelopment will enable The Royal to be brought back into use with a mix of residential and holiday accommodation.

3.3 The proposal is to undertake a full refurbishment and reordering of the hotel, creating new spaces within the interior to allow for a more organic flow through the building.

3.3.1 The existing riverside external decking will be replaced.

3.3.2 The 20th century block will be replaced with a new block of private 1- or 2- bedroomed apartments, those overlooking the river having their own private balcony.

3.3.3 Due to the historic importance of the hotel, all works will be undertaken in close consultation with CADW and the Local Authority's Conservation Officer so as to ensure sensitivity towards the existing fabric of the building.

4. Heritage Impact Assessment Stage 2: Understand the significance of the Conservation Area

4.1 The Llangollen Conservation Area was designated in 1985 covers an area of 20.4 hectares.

4.2 The Conservation Area Appraisal in 1997 was a short document that did not seek to define individual character areas within the overall area (Denbighshire Council, 1997). Instead, it gave some key characteristics of the Conservation Area which included:

- Important Open Areas
- Important Views
- Natural Landscape
- Building styles
- Building materials
- Building details
- Other Important Features
- Principal Buildings
- Problems in the Conservation Area

4.3 In 2016, Cadw undertook an Understanding Urban Character assessment for Llangollen (Cadw, 2016). This document was a more detailed assessment of the history of the town and the character of its buildings. It included a Statement of Significance (Cadw, 2016, p.71).

4.4 As well as the Statement of Significance for the overall Conservation Area it also defined 6 Character Areas (Cadw, 2016, pp 53 -70, & pp 80-86)

- 1. The Early Town
- 2. Nineteenth-Century Growth: Around Canal and Railway
- 3. Nineteenth-Century Growth: Around the Holyhead Road
- 4. Plas Newydd
- 5. Castle Street and the Western Town
- 6. The Canal

4.5 The Royal Hotel lies in Area 1: The Early Town character area to its western side, the core of the area centred around the church. It is visible from parts of Area 2: Nineteenth-Century Growth: Around Canal and Railway and from parts of Area 5 Castle Street and the Western Town.

5. Heritage Impact Assessment Stage 3: Assess the impact of the proposals on the Conservation Area (including the designated historic assets)

5.1 The proposed variations to the consented planning applications for the Royal Hotel, as viewed from Bridge Street and Castle Street areas, would be limited in scale. The colour scheme and the replacement of the roof line on the 20th century block from a flat roof to a ridged roofline will remain as in the consented applications, planning application 03/2022/0173 and Listed Building consent 03/2022/0174.

5.2 The proposed variations when viewed from Llangollen bridge over the river Dee (a listed building, 1080, and a scheduled monument, DE026) will include more physical changes. The proposed extension of the external walkway with a canopy will not now be included. The riverside façade of the new build on the rear of the 20th century block will change. The variation to the design uses white render, timber cladding and black steel cladding.

5.3 The physical and visual changes to the north side of the Royal Hotel will also be visible from parts of the area to the north of the river.

5.4 The Statement of Significance from the Understanding Urban Character has been used in order to understand and assess the change of impact from variations to the consented scheme on the conservation area. The following table (Table 1) details each sentence from the Statement and assesses the Royal Hotel in context to that and what impact there would be, if any, from the proposals.

Table 1: Impacts on the conservation area

| Statement of Significance | Royal Hotel in Context | Impact from Variations |
|---|--|--|
| Llangollen is known as a small town of handsome and substantial red brick buildings on the banks of the river Dee. | Royal Hotel lies in Character Area 1: Early Town as defined in the urban characterisation published by Cadw in 2016. Red brick buildings are not typical of this character area which contains the earliest development of the town. The buildings here are more likely to be plain-coloured render or roughcast with some enhancement of architectural detailing (quoins, window surrounds etc.). | There are no variations to the colours in the consented scheme. |
| Its highlights include the bridge, the heritage railway, the canal, Plas Newydd — the home of the Ladies of Llangollen — and the site of the Llangollen International Musical Eisteddfod. | The Royal Hotel lies adjacent to southeast end of Llangollen Bridge (DE026, 1105) and within its setting. | Under the proposed variations the new block at the eastern side of the hotel complex, replacing a 20 th century wing which has now been removed would be for housing not a spa. The variation will still be largely screened from view from the bridge, and would not be visible from its southern end. The northern side of the proposed variation does not extend as close to the river as the consented scheme and will be sheltered from most views. Overall, the impacts of the proposed variations to the consented scheme on the setting are assessed as being Neutral, ranging from Low Negative to Low Positive, but with no impact on the Significance of the bridge. |
| | The heritage railway (Listed Buildings 1083, 1082, 1084, 1085, 87500 & 87501) stops at the northwestern side of Llangollen Bridge, the Royal Hotel is adjacent to the southeastern part of the Bridge. The Royal Hotel forms part of a backdrop of views from parts of the heritage railway although with the bridge in the foreground, truncating the view. | The variation to the consented scheme will not alter views from the heritage railway. Its significance will not be affected. |

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| Statement of Significance | Royal Hotel in Context | Impact from Variations |
|---|--|---|
| | The Royal is generally not intervisible with the canal, a World Heritage Site, scheduled monument DE 026 and with listed elements. The canal is on higher ground than the Royal Hotel with buildings, many of them 3-storey, and mature trees on the slope down to the river Dee. | The canal has very partial views of the Royal Hotel from limited viewpoints. The views are so limited they cannot be seen as part of its visual setting as a scheduled monument/listed building. The Royal Hotel does lie within the Essential Setting of the World Heritage Site There would be no impact on its significance. |
| | Plas Newydd (Listed Building 1127) is not intervisible with the Royal Hotel but did have an important link as the Ladies of Llangollen patronised the Kings Head as the Royal was known at that time. The site of the International Eisteddfod is not intervisible with the Royal Hotel. | There is no impact on, or change of, setting with regard to Plas Newydd (Listed Building 1127) or the site of the International Musical Eisteddfod (non-designated historic asset). |
| Beyond these individual features lies a deeper history of an older town of winding streets and small alleys with stone and timber buildings. | The Royal Hotel lies at the southeast corner of Llangollen Bridge and the western end of Bridge Street one of the main streets of the older part of town. The Kings Head as it was known in the 18 th /19 th century is part of this older town although the earliest parts that now remain probably date to the very late 18 th / early 19 th century | The changes to the Royal Hotel visible from the older part of town are limited to views along the western part of Bridge Street, from the Three Eagles (Wynnstay) westwards. These views will be limited to the Bridge Street frontage of the Royal Hotel, where there are limited variations to the consented scheme. The main change is that gates into the Royal Hotel on Bridge Street will be removed and the gap blocked in |
| | | |
| The church was founded by St Collen in the sixth or seventh century and, although much altered, is the earliest known building in the town. | The church (Listed Building 1164) lies within the same character area, 1: Early Town, as the Royal Hotel but the two are not directly intervisible | There will be no change or impact to the church and its setting from the proposed changes. |
| It marks the early establishment of a settlement in the Dee Valley at a natural crossing point of the river on one of the main valley routes into and out of the mountainous interior | The Royal Hotel will continue to stand at the side of the post-med/modern crossing point of the river Dee. From modest beginnings as the Kings Head alongside the road from the crossing, it has developed into a large building with several phases of | The changes will maintain the presence of the hotel as a prominent building at the crossing point of the Dee. The façade alongside Castle Street will be improved with the paint removed from the decorative stonework and a new colour scheme used. |

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| Statement of Significance | Royal Hotel in Context | Impact from Variations |
|---|--|--|
| of Wales. | development | |
| Little else of this early settlement survives except for the core street pattern of Bridge Street and Church Street, and the small lanes behind with some scattered small vernacular buildings. | The proposals for the Royal Hotel do not alter the lines of Bridge Street or Church Street, or any small lanes behind buildings. | There will be no impact on or change to the street pattern of the earlier town from the development |
| This street pattern however survived and continued to exert an influence over the development of this part of the town. | The proposals respect this street pattern and do not weaken views of it | There will be no impact on or change to the street pattern of the earlier town from the development |
| | | |
| The early town remained essentially a small rural settlement through to the later eighteenth century. The restrained Georgian styles of this time are still very much evident today despite later remodelling | The core of the Royal Hotel as it is today developed in the Georgian period and is still identifiable within the hotel complex. It probably incorporates a version of the Kings Head although the smaller structure shown on the 1791 map of the holdings of the Rev. Edward Roberts. (Denbighshire Archives, DD/DM/736/1) has disappeared and probably does not survive in the structure. | The proposed variation to the consented scheme will a different design to the new build. It replaces part of a 20 th century block that was demolished when the river wall began to fail. It is modern in design but has a smaller footprint than the consented block and it set back further from the river. |
| By this time, the town and the surrounding area had become a focus for the fashionable interest in natural wild landscapes known as the Picturesque movement. | The changes to the northern façade of the Royal Hotel will be visible in views from Llangollen Bridge looking eastwards. This will include the new decking and canopy, the new build to the eastern end of the hotel and the renewed paintwork with pale tones picking out the different phases of the building. | The proposed variations will not change the consented scheme in this regard. |
| Llangollen and the Dee Valley became one of a number of areas renowned for their landscapes and the town welcomed an influx of tourists and settlers to the area. | The Royal Hotel has been an integral part of the tourist industry for over 200 years and the Ladies of Llangollen required that people visiting them stayed there | The proposed variations split the focus of the Royal Hotel into visitor accommodation and residential, but will still see this large building retained in the streetscape and offering a place to stay. |
| The visitors brought fashionable ideas on | The northern façade of the Royal Hotel, shows changes in | The impact of the proposed variations will not alter from the |

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| Statement of Significance | Royal Hotel in Context | Impact from Variations |
|--|--|--|
| architecture and design which inevitably influenced the appearance of the town and its outlying areas. | architectural design through the 19 th century | consented scheme |
| The restrained Georgian styles of this time are still very much evident today despite later remodelling | The core of the Royal Hotel is Georgian and this will remain visible and distinctive. On the northern façade the Georgian element will be picked out by slightly darker painted render but with the same-coloured architectural detail as the rest of the hotel. There will be some loss of view of the Georgian elements on the eastern façade where the new build will obstruct views to roof height. | The painted render on the northern façade will highlight the development of the hotel and in particular the Georgian element. The loss of view of the eastern façade will have limited impact as it is not generally visible. Development along the south bank of the river, the slight change in course of the river Dee, the bulk of the Llangollen Bridge and mature trees along the north bank of the Dee limit views. |
| At broadly the same time, the improvement of road links from London to Holyhead (and Ireland) followed by the construction of the railway and canal caused a surge of development. | The railway and the canal have played some part in the development of the Royal Hotel, bringing paying customers to the town. | The changes to the Royal Hotel will not affect this relationship, nor impact on the railway and canal. |
| The town now became a stopping point on a much wider transport network. | The transport network helped the Royal Hotel develop as a successful establishment. | The changes to the Royal Hotel will not affect this relationship, nor impact on the wider transport network. |
| This brought new infrastructure and activity | Past developments at the Royal Hotel were part of the new infrastructure | The proposed changes will not affect any other infrastructure and will not impact negatively on the setting of designated historic assets. |
| It enabled the development of new industries and generated demand from travellers and workers for accommodation and supplies. | Developments at the Royal Hotel were part of the new infrastructure that supplied accommodation and refreshments. | The proposed changes will not affect any other infrastructure and will not impact negatively on the setting of designated historic assets. |
| The water power of the Dee had long been used for industry but was now exploited for the production of | The Royal Hotel did not use the water power of the Dee. The cornmill to the west of the bridge is not intervisible with the Royal Hotel. | The proposed changes will not affect water power and will not impact negatively on the setting of designated historic assets. |

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| Statement of Significance | Royal Hotel in Context | Impact from Variations |
|---|---|---|
| textiles, timber and slate quarrying. | | |
| With the improved transport links, industry prospered and tourism developed and flourished. | The Royal Hotel was part of this prosperity. It has declined in recent years and the objective of the proposals are to bring back the building as a destination hotel with a modern offer, whilst retaining and promoting the historic fabric | The development will ensure that the hotel is retained as a prominent building providing accommodation and more and impacting on the general prosperity of the town and area. |
| It was during the nineteenth century that Llangollen grew into the town with which we are familiar today. | The Royal Hotel was an integral part of the development of Llangollen at in the 19 th century. It is located in a prominent position in the town at the Llangollen Bridge crossing of the river Dee, and was a short walk from the railway and canal. | The Royal Hotel and its diverse architecture reflect the process of development and change with new wings being added to meet the needs of the time at various points in its history. The proposed development is in keeping with that tradition and will ensure the viability of the business and enhance its architectural value. |
| Whole new streets were laid out in straight lines away from the lanes of the existing town. | These streets mainly lie to the south of the Royal Hotel in Character Area 5: Castle Street and the Western Town. Castle Street to the west of the hotel was built after the Royal Hotel started to develop on its current footprint. On the 1843 tithe map, the road crossed the bridge and turned to the southwest along Bridge Street. In 1860 Castle Street was built running southwards and then the development of the grid pattern to the west developed quickly. The buildings of these broad, straight streets are largely of red brick and contrast with the painted render and roughcast buildings in the winding, narrow streets of the old town. | The proposed changes to the Royal Hotel will not directly impact on the character of this area. The visible changes will be the repainting of the southern and western facades and the change in roof to a more suitable line of the 20 th century wing. The colour scheme will be similar to now a unifying pale painted render with darker detailing revitalising a slightly tired façade. |
| Often lined with large new buildings in red brick or in fashionable Gothic styles, they were distinct from their Georgian predecessors. | The buildings of these broad, straight streets are largely of red brick and contrast with the painted render and roughcast buildings in the winding, narrow streets of the old town. However, the buildings on Castle Street still retain some | The proposed changes would not directly affect the buildings in this area. The visual changes on the southern and western facades will be an improvement to the general area. |

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| Statement of Significance | Royal Hotel in Context | Impact from Variations |
|---|--|---|
| | <p>Georgian style features with symmetrical features, and painted detailing.</p> <p>The Victorian element of the Royal Hotel facing onto Castle Street, has gothic elements around the tower adjacent to the bridge.</p> | |
| Most of the major commercial and civic buildings in the main thoroughfare, Castle Street, which define the town today, date from this time. | The commercial and civic buildings in Castle Street are intervisible with the southern and western façades of the Royal Hotel | The changes to the southern and western façade are positive and will not have a negative impact on these buildings. |
| | | |
| The nineteenth-century boom faltered during the early twentieth century when most of the traditional manufacturing and local industries declined. | The Royal Hotel continued to provide a service during this period even as things changed around it. | The changes to the Royal Hotel do not affect this. |
| In their place, the town turned to its earlier role as a tourist destination. | The Royal Hotel has been part of the tourism industry since it first developed and adapted and changed with it | The Royal Hotel is one of the main hotels in Llangollen and the proposed changes will be beneficial, bringing the hotel back into use and retain this historical link. |
| The railway, which had survived in part the cuts of the 1960s, became a heritage leisure line. | The railway now only runs from the western side of the bridge, whereas formerly it ran under the bridge and along the north bank of the Dee opposite the Royal Hotel. | The Royal Hotel is only visible in some views from the railway station as the bridge stands in between the two. The changes proposed will be an improvement to the tired façade, including a refreshed paint scheme. The new build will be partially visible but is designed to be modern but reflect the surrounding architecture. |
| The canal too was brought back to life and is popular with tourists. | The canal is now separated from the Royal Hotel by buildings, often 3 storeys, and trees. | |
| The eisteddfod site was established as an international centre for music and other destinations were developed in and | The Royal Hotel is not intervisible with the eisteddfod site but does provide accommodation for people attending. | No change. |

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| Statement of Significance | Royal Hotel in Context | Impact from Variations |
|---|--|--|
| around the town. | | |
| Traces of this rich history are preserved in the street patterns and buildings, which give Llangollen its distinct character. | The Royal Hotel lies with the street patterns at the junction of the earlier town and the mid 19 th century development | The changes will not impact on the street pattern, and the refurbishment will preserve part of the heritage of the town. |
| Together, they help tell the story of the transition from a small rural town to a Georgian tourist destination and the rise and fall of a Victorian industrial boom town. | The Royal Hotel has a key part in the telling of this story | The proposed variations do not alter this. |
| Its twentieth century reinvention as a tourist centre depends on this historic character, which should be cherished and respected for the benefit of future residents and tourists alike. | The Royal Hotel is a key part of this tourism centre | Bringing it back into use which will support other elements of the tourism industry. The upgrade is sympathetic to heritage of the building, and to the surrounding setting. Other elements of the tourism offer in Llangollen will benefit. |

5.5 The conclusion from the assessment above is that the key characteristics of the Conservation Area will be still be preserved with the proposed variations.

5.6 The proposed variations to the southern façade of the hotel from the consented scheme can be summarised as follows:

5.6.1 The gates into the courtyard area of the hotel will be removed and the gap blocked up. Although the gateway may be an historic opening the gates themselves are more recent.

5.6.2 There will not be shop-front style awnings added to the ground floor of the 20th century wing.

5.6.3 Impact of variations to the southern façade;

a) The changes will remove some elements that were included in the consented scheme but they will not have a negative impact on the conservation area.

5.7 The proposed variations to the western façade of the hotel from the consented scheme can be summarised as follows:

5.7.1 There are no changes in the proposed variation.

5.7.2 Impact of the variations on the western façade.

a) None

5.8 The proposed variations to the northern façade of the hotel from the consented scheme can be summarised as follows:

5.8.3 The current boardwalk terrace will be replaced but will not have a canopy.

5.8.4 A window looking east will not be inserted at the base of the turret

5.8.5 There is a change to the new build at the eastern end of the hotel will replace the rear of the 20th century block demolished in 2021. The new block will still be at an angle to the Georgian block but will have a slightly smaller footprint. The new build is modern in design and includes similar elements to the consented design without the stone elements and projecting spurs.

5.8.6 Impact of the changes of the northern façade

a) The variations to the northern façade are variable. The history of the hotel will still be more readable, but still understood as a single entity. The terrace will be maintained as it is and any impact from the canopy will be removed. The new build will be a change from the consented scheme and is simpler and more functional, but is also set back further from the river reducing its visibility from key views.

b) The façade is intervisible with all or parts of Llangollen Bridge (DE029 & 1080), Listed Buildings 1191, 1192, 1993, 1081 and 1083 but the changes will not have a negative impact on their setting.

5.9 The proposed variations to the eastern façade of the hotel from the consented scheme can be summarised as follows:

5.9.1 Eastern façade of the Georgian elements: the variation design of the new-build block allows two windows which were previously going to be blocked to remain open.

5.9.2 The eastern façade is generally not visible from many places. Development on the southern bank of the Dee and the slight change in course of the river means there are few views from this side. The northern bank of the Dee has many mature trees which obscure most views.

5.9.3 The façade is only visible with Listed Buildings 1106. The gable of this building faces the eastern side of the Royal Hotel, and the new build will be adjacent to it with the addition in the variation of the lift/stairwell block.

6. Heritage Impact Assessment Stage 4: *Set out the reasoning behind the preferred option, including design concepts and principles, in the light of the assessment process.*

6.1 For the consented scheme Trysor and the wider team involved in the project worked through the HIA process together, refining the proposal for the best outcome for the historic environment and the client (Trysor.2022). Consultations with Cadw and the Denbighshire Conservation Officer were undertaken and fed back into the design.

6.2 As part of the earlier HIA process, Trysor were brought into the project as historic environment consultants at an early stage and examined the interior and exterior of the Royal Hotel in May 2019. This informed an unpublished report "*Royal Hotel, Bridge Street, Llangollen: History of Development*" (Trysor, 2019) which gave the hotel's history.

6.3 This initial study demonstrated that the hotel included wings of varying dates, from the late 18th century to the late-Victorian and a phase plan of the complex was created which identified Early Georgian, Georgian, Mid-Victorian and Late Victorian wings. Some outbuildings and service areas at the centre of the complex were undated but thought likely to be of Victorian or later date.

6.4 The findings of the initial Trysor report informed the subsequent proposals for the Royal Hotel. These sought to preserve and enhance the historic character of the complex and ensure that the distinctive architecture of wings of different dates is protected within the new scheme and were consented in 2022, planning application 03/2022/0173 and Listed Building consent 03/2022/0174.

6.5 Throughout the consultation and development of the proposals, attention was also given to the issue of potential impacts on the character of the Llangollen Conservation Area. Therefore, the final proposal gives full cognisance to the need to respect the character of the Conservation Area, the details of which are outlined in Table 1 of this report.

6.6 The colour scheme for the exterior of the complex as consented will be implemented in the variation proposal.

6.7 The new residential block replacing the consented scheme stand between the 20th century wing on Bridge Street and the riverbank but with a slightly smaller footprint and set back a little from the riverside. It will again follow the river and be angled away from the Georgian block, so it will not be dominant in views from Llangollen Bridge or detract from the older parts of the hotel.

7. Bibliography

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Ordnance Survey, 1874, 1:2500 map

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Llangollen Parish Tithe Map, 1843

Llangollen Parish Tithe Apportionment, 1843

Trysor, 2019, *Royal Hotel, Bridge Street, Llangollen: Heritage Impact Statement. DRAFT*

Trysor, 2022, *Royal Hotel, Bridge Street, Llangollen: Heritage Impact Statement*.

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7.1 Online sources

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Côf Cymru, <https://cadw.gov.wales/advice-support/cof-cymru/search-cadw-records>

Historic Wales, <https://historic-wales-rcahmw.hub.arcgis.com/>

Appendix A: Photographs

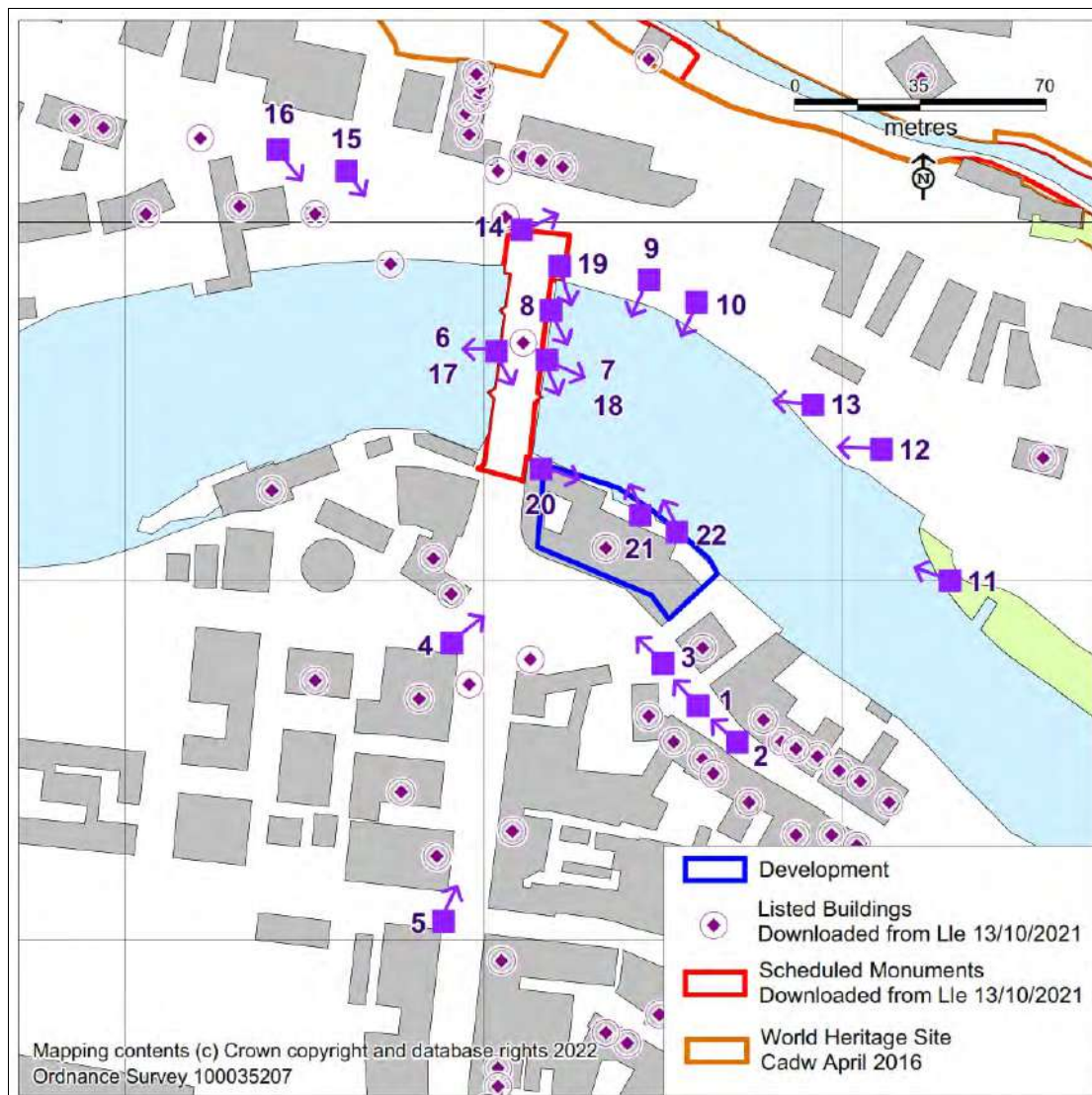


Figure 2: Location of photographs



*Plate 1: The view of the Royal Hotel from Bridge Street, May 2019
Looking northwest.*



*Plate 2: 2021. The view of the Royal Hotel taken further southeast along
Bridge Street, May 2019. Looking northwest.*



Plate 3: The view of the Royal Hotel from Bridge Street, November 2021. Looking northwest.



Plate 4: The view of the Royal Hotel from the eastern end of Parade Street, looking across Castle Street, November 2021. Looking northeast.



Plate 5: A view down Castle Street from its junction with Market Street. A partial view of the Royal Hotel is gained in the distance. The variety of colours and tones in the buildings of Castle Street is striking and draws attention to the light colours of the larger buildings either side of the river.



Plate 6: The view of the Royal Hotel from the river bridge, May 2019, demonstrates how prominent the hotel is when looking across the bridge from the north. Looking south-southeast.



*Plate 7: The view of the Royal Hotel from the river bridge, May 2019.
Looking south-southeast.*



Plate 8: The view of the Royal Hotel from the river bridge, November 2021. The variation to the consented scheme in the form of the new residential block in place of the spa will be partially visible to the left of the hotel but would not block any significant view. The loss of the tree in the same direction since 2019 has now opened up a view of the parish church tower, which will not be affected by the proposed development. Looking south-southeast.



Plate 9: A view of the Royal Hotel from the opposite side of the river Dee. Note the repairs to the riverside wall, which had partially collapsed early in 2021. The new-build residential block would be to the left, in front of the 20th century wing. Looking south-southwest.



Plate 10: A view of the Royal Hotel from the opposite side of the river Dee. The new-build residential block would be to the left, in front of the 20th century wing. Looking south-southwest.



Plate 11: A view of the Royal Hotel from the opposite side of the River Dee, November 2021. The proposed new-build residential block replacing the spa in the consented scheme would stand in front of the eastern side of the Georgian "New Hotel" wing, on the site of the former 20th century "Dee Bar" building, which was removed in May 2021. Looking west-northwest.



Plate 12: A view towards the Royal Hotel from the opposite side of the River Dee, November 2021. In general, trees and foliage obscure views of the hotel from the publicly accessible areas to the north of the river. Looking west.

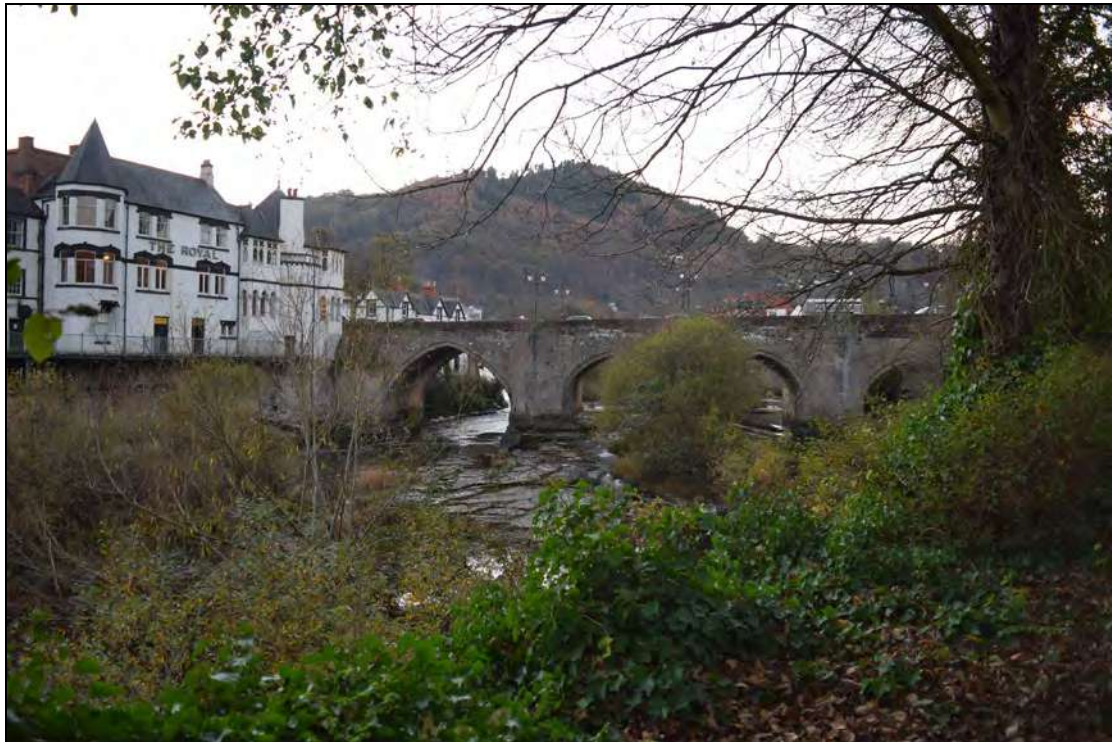


Plate 13: A view of the Royal Hotel from the opposite side of the River Dee, November 2021, with the river bridge also in view. The modifications to the existing parts of the hotel would not impact negatively on this view. Looking west.



Plate 14: The buildings which face the river bridge from the north, photographed in November 2021, display varied styles of architecture and décor, not unlike the proposed exterior décor scheme for the north-facing side of the Royal Hotel. Looking east-northeast.



Plate 15: A view towards the Royal Hotel from Llangollen Railway Station, November 2021. Views from this location are partial as intervening trees screen the hotel. Looking southeast.



Plate 16: A view towards the Royal Hotel from Llangollen Railway Station, May 2019. Views from this location are partial as intervening trees screen the hotel. The new-build residential block would be obscured in views from this area as the main hotel would stand in its way. Looking southeast.



Plate 17: A view from the river bridge looking along the River Dee, November 2021. Looking west-southwest.



Plate 18: A view from the river bridge looking along the River Dee, November 2021. The proposed variation of a new-build residential block rather than a spa will reduce impacts on this view. Looking east-southeast.



Plate 19: A view of the Royal Hotel from the northern end of the river bridge, May 2019. Looking south.



Plate 20: A view from inside the hotel looking over the decking and down the river, January 2022. The canopy over the decking will not be added under the proposed variation so this view not be altered from the present. Looking east-southeast.

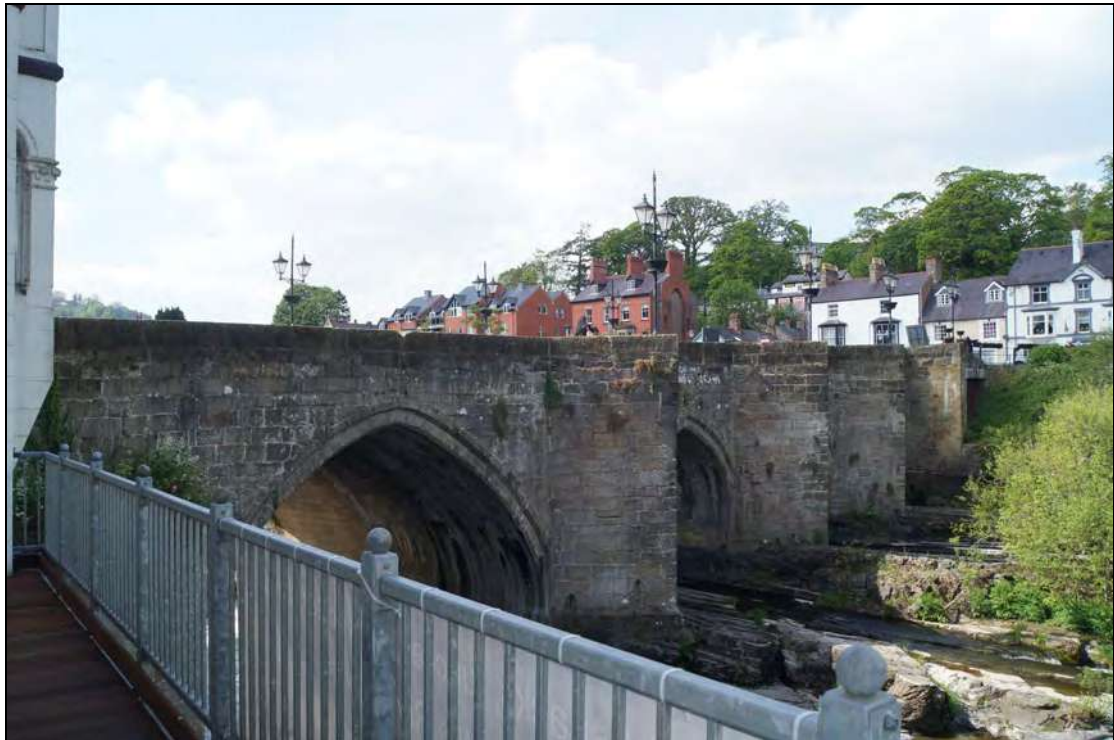


Plate 21: A view of the river bridge from the decking area at the northern side of the hotel. This view will not be lost as a result of the modifications to the decking, which will be now not be roofed and glazed. Looking north-northwest.



Plate 22: A view from the edge of the terrace in front of the former Dee Bar, which will be replaced by the decking in front of the new-build residential block. This view of the scheduled river bridge will not be lost due to the development. Looking northwest.

APPENDIX B

**SETTING ASSESSMENT NOTES
STAGE 2**

LLANGOLLEN BRIDGE

**(Listed Building Number 1080
and Scheduled Monument DE026)**

| LLANGOLLEN BRIDGE | |
|--|--|
| Stage 2: How do the present surroundings contribute to our understanding and appreciation of the historic asset today? | |
| • Thinking about when the historic asset was first built and developed: | |
| What were its physical, functional and visual relationships with other structures/historic assets and natural features? | <p>Although there is documentary evidence that a bridge may have stood here by the late 13th century and was improved during the 14th or early 15th century, the present bridge is thought to have been constructed in early post-medieval times to replace an earlier bridge. It is possible that it dates to the 1540s, based on the inclusion of "sepulchral stones" in its fabric, or to the 1650s, when one Rondle Read may have been paid £250 for work undertaken here.</p> <p>The selection of this site as a bridging point was undoubtedly made for functional reasons and dominated by the fact that this section of the river's course is characterised by bedrock outcropping in the river bed and either side of the river, giving a solid foundation for the bridge structure.</p> <p>The bridge was extended northwards in 1863 when the railway was built along the river's edge. During the 1870s it was widened, and it was widened considerably again in 1968. The present bridge is therefore a composite of early post-medieval and modern work.</p> <p>No contemporary structures or features associated with the medieval or early post-medieval bridge now survived, but it is a prominent feature at this point along the course of the river. It crosses the river at the apex of a bend in its course, which means that the bridge is only clearly visible from a stretch of some 400 metres upstream along the river to the west, and 300 metres downstream to the east.</p> |
| What topographic or | This point was undoubtedly chosen for the |

| | |
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| earlier features influenced its location? What was its relationship to the surrounding landscape/streetscape? | original bridge as a convenient place to cross the river at a relatively narrow point which offered a solid bedrock foundation on either bank due to rock outcropping in the river bed. Later versions of the bridge were constructed here as the river was best crossed at this point and the road system would have already developed to cross here. |
| Was it constructed to take advantage of significant views or to be a part of a significant view? Although there may be a 360-degree view, some areas of the view may be more significant than others. | There is no reason to believe that the choice of this site as a bridging point was made to be part of a view or to offer a view. The choice would have been based on the functional requirements of exploiting a convenient bridging point which offered a solid bedrock foundation to any structure. |
| Has its function or use changed? | The bridge has been used to allow people to cross the river safely since it was first built. It has undergone significant changes in terms of length and width in the past 150 years however to accommodate first the railway and then the growing use of motor vehicles. |
| What changes have happened to the surrounding landscape/streetscape? | Llangollen would have been a small settlement around the parish church, to the south of the river, when the bridge was first built. The town has grown and now occupies both sides of the river, with a number of large, prominent buildings standing at either end of the bridge. The railway was built along the riverbank in the 1860s, requiring an extension to the northern end of the bridge. |
| Have changes happened because of changes to the historic asset or to its historical setting? | Changes to the present bridge have occurred to accommodate the development of rail transport and the increased use of the roads by motor vehicles in modern times, which have necessitated the lengthening and widening of the bridge. |
| Has the presence of the historic asset influenced changes to the landscape, for example, where a | The presence of the bridge has attracted development at both ends and made it possible for a significant spread of Llangollen town northwards across the river Dee. |

| | |
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| monument has been used as a marker in the layout of a field enclosure? | |
| Has the presence of the historic asset influenced the character of the surrounding landscape /streetscape? | As above. |
| Have historic and designed views to and from the historic asset changed? | Yes. The growth of the town has seen buildings accumulate at either end of the bridge. This has changed views of the bridge. In the 18 th and 19 th centuries artistic representations of the bridge portrayed it as a romantic, relatively rural location. Since Victorian times it has become much more urban in character. |

| • Thinking about the original layout of the historic asset and its relationship to its associated landscape: | |
|--|---|
| <p>Were these relationships designed or accidental?</p> <p>How did these relationships change over time?</p> | <p>The choice of location for the present bridge was determined by the existence of an earlier bridge at a suitable bridging point of the river Dee. That relationship with the bridging point has not changed.</p> |
| <p>How do these relationships appear in the current landscape; are they visual or buried features?</p> | <p>They are visual features as the bridge remains in use, although it has been highly modified in the past century and a half.</p> |
| <p>• Are there other significant factors, such as historical, artistic, literary, place name or scenic associations, intellectual relationships (e.g. a theory, plan or design), or other non-visual factors such as sounds or smells that can be vital to understand the historic asset and its setting?</p> | <p>There are many depictions of the bridge since the late 18th century and it has been well photographed in modern times. These record the changes to the bridge and its environs through two centuries, as its once rustic setting has given way to a far more urban setting.</p> |

| Stage 2 should also identify the viewpoints from which the impact of the proposed change or development should be assessed, taking into account, for example: | |
|--|--|
| • views to, from and across the historic asset that were designed and developed when the historic asset was first created – for example, in the case of a defensive or ritual structure | <p>The bridge has always been visible from the river and riverbanks to the west-southwest and east-southeast, for a limited distance due to a bend in the course of the river. The best views of the bridge are from relatively close proximity but developments along the riverside in post-medieval times have restricted many of these views, as do the many trees which now grow along the rivers edge, both upstream and downstream.</p> |
| | <p>The best modern views of the eastern side of the bridge are gained from the Royal Hotel itself, particularly from the riverside decking along its northern side. The western side of the bridge is best viewed from Llangollen Railway Station, to the northwest.</p> |
| | <p>There are also good views along the bridge from either end, although it must be noted that the widening of the bridge in 1968-69 means that this is an essentially modern view.</p> <p>There are good views from the bridge along the river to both the east and west. These views include fine landscapes, with wooded riverbanks leading towards rising, wooded ground in the distance, with the buildings of the town seen either side of the river.</p> |
| • views to, from and across the historic asset which are linked with a time in its history – for example, a historic artistic depiction of the site | <p>Historic depictions of the bridge show views from both the west and east. Romantic views of the bridge of late 18th and early 19th century date reflect the fame of the original structure as one of the wonders of contemporary Wales, much visited by travellers visiting the north.</p> <p>Llangollen has remained a popular tourist destination to the present day and the bridge has been frequently photographed and used as an image to promote the town or as a postcard image.</p> |

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| <p>• important modern views to, from and across the historic asset – for example, popular visitor viewing points.</p> | <p>The bridge is popular with visitors who enjoy views along the picturesque river to the east and west. Good views of the bridge structure are less easily found and mostly enjoyed by visitors to the railway station to the northwest or the Royal Hotel to the southeast. Some views can also be gained from public paths above the river to the northeast of the bridge, but trees along the river's edge screen these views to a large extent.</p> |
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| Stage 3: Evaluate the potential impact of change or development. | | | |
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| POSSIBLE IMPACT | COMMENT | IMPACT ON SETTING | IMPACT ON SIGNIFICANCE OF THE HISTORIC ASSET |
| The visual impact of the proposed change or development relative to the scale and location of the historic asset and its setting | The proposed change to the exterior décor of the Royal Hotel would not have a negative impact on the bridge or views from or towards it. The décor has changed over the years and the proposed redecoration conforms with this pattern. | Low Positive | None |
| | The proposed enhancement of the decking along the riverbank outside the hotel will include a canopy roof glazing. This will change views of the hotel from the bridge to some degree but will not interfere with any key views of the bridge itself, which will still be visible from the decking. Importantly, this 20 th century decking offers one of the best viewpoints of the bridge and its retention and | Low Positive | None |

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| | <p>enhancement is a positive factor in allowing the public to view and appreciate the bridge from the east.</p> <p>The proposed new-build residential block which would be added to the eastern end of the hotel complex will be partially visible from the bridge but in a reduced capacity from the spa in the consented scheme; only decking would now extend to the river bank. The building will be slightly set back and, due to the bend in the river, will be set at an angle which ensures that more of the new wing would be hidden from view from the bridge by the main hotel buildings. Only from the northern end of the bridge will the new-build be seen more completely, but it will not block any key view, will not break the roofline of the present buildings around it, nor the skyline.</p> | <p>Very Low Negative</p> | <p>None</p> |
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| Whether the proposed change or development would dominate the historic asset or detract from our ability to understand and appreciate it – for example, its functional or physical relationship with the surrounding landscape and associated structures and/ or buried remains | As above. The proposed changes to the Royal Hotel would have a Low impact on the bridge at most and would not impact on its significance. | Neutral | None |
| The presence, extent, character and scale of the existing built environment within the surroundings of the historic asset and how the proposed change or development compares with this | The bridge stands in an urbanised environment with substantial commercial and domestic buildings visible on both sides of the river, with the Royal Hotel being the most prominent of these. The development, in terms of additional or new structures, would be modest in scale in comparison and not impact significantly on | Neutral | None |

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| | key views to or from the bridge. | | |
| The lifespan of the proposed change or development and whether or not the impact might be reversible | The proposed changes would be reversible. The hotel complex has changed over time with wings being added, modified or removed to suit contemporary requirements. | None | None |
| The extent of tree cover, whether it is deciduous or evergreen, and its likely longevity | There are numerous deciduous trees growing along the river to the east and west of the bridge. This tree cover is likely to be permanent. | None | None |
| The impact of artificial lighting – for example, on night-time views | There is already artificial lighting along the street, on the bridge and in adjacent buildings on all sides. The additional lighting from the proposed development would not represent a significant increase in lighting. | Neutral | None |
| The capability of a landscape setting to absorb change or new development without the erosion of its | The proposed changes to the Royal Hotel would be modest in scale and not significantly change the setting of the bridge or | Neutral | None |

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| key characteristics | impact on the ability to appreciate and understand the structure. | | |
| The impact of the proposed change or development on non-visual elements of the setting and character of the historic asset, such as sense of remoteness, evocation of the historical past, sense of place, cultural identity or spiritual responses | The development would not take place in a tranquil or remote setting but would be an addition to a large and well-established hotel which displays a varied architecture, reflecting its complex, multi-period history. | None | None |
| The impact of non-visual elements of the proposed change or development, such as the removal or addition of noises and smell | The proposed development would not add new noises or smells to the local environment and the Royal Hotel would continue to serve the purpose it has been built for as a prominent and popular attraction for visitors to the town of Llangollen. | None | None |
| Cumulative effect of the proposed change or development — sometimes relatively small changes, can | The proposed development will not impact on the ability to understand and appreciate the river bridge. The scale of the | None | None |

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| have a major impact on our ability to understand, appreciate and experience a historic asset. | development would be modest and not impact physically on the bridge or on any key views of the structure. | | |
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Cais Cynllunio Llawn ar gyfer trosi ac ymestyn rhan o
Westy I ffurfio 12 o fflatiau preswyl
- Gwesty The Royal Hotel, Llangollen. LL20 8PG.

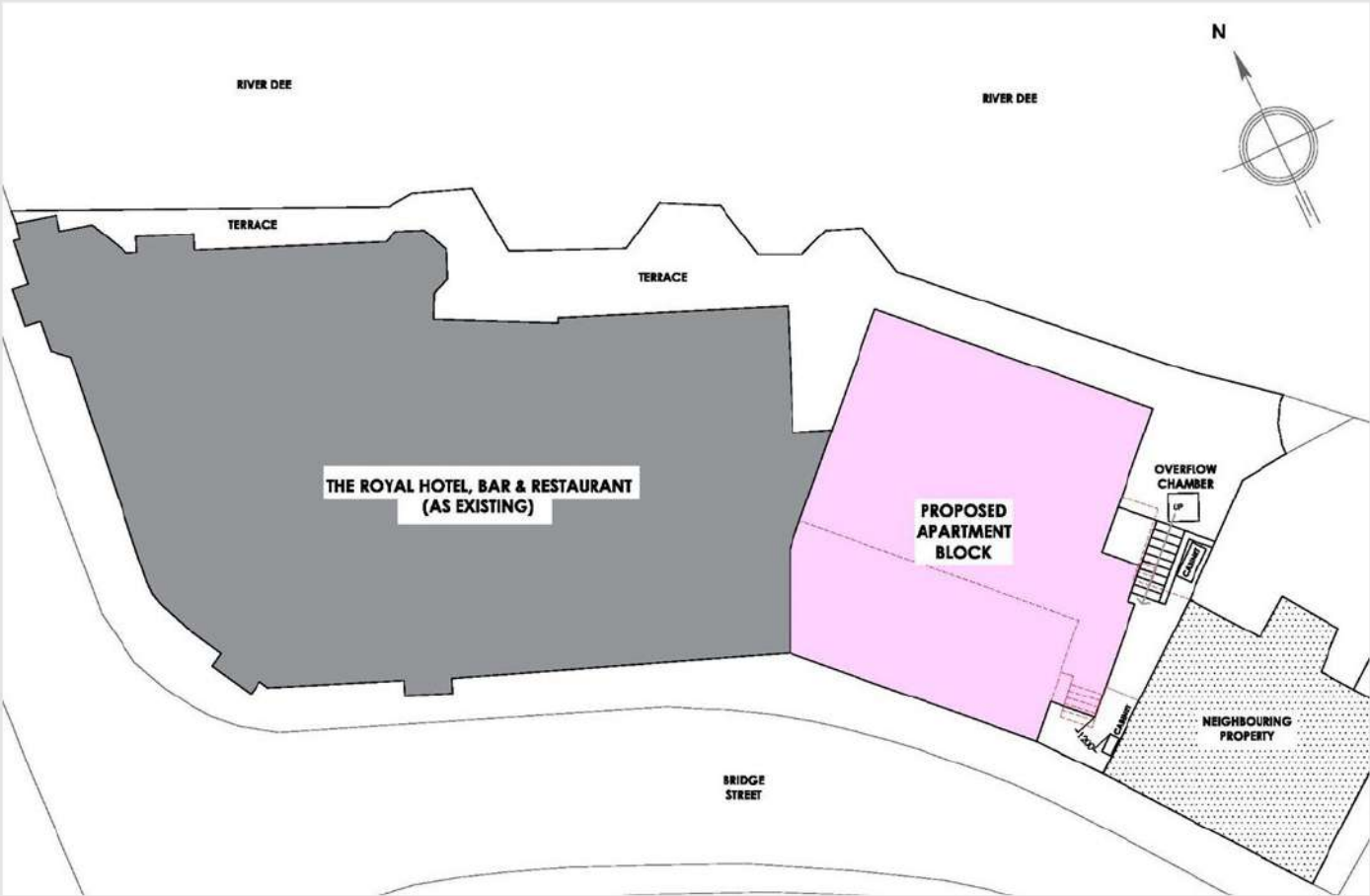
ATODLEN 1B: CYHOEDDUSRWYDD AC YMGYNGHORI CYN GWNEUD CAIS AM GANIATÂD CYNLLUNIO
HYSBYSIAD O DAN ERTHYGLAU 2C A 2D
Gorchymyn Cynllunio Gwlad a Thref (Gweithdrefn Rheoli Datblygu) (Cymru) 2012

Dyddiad: 13 Mawrth 2024



Rhoddir rhybudd bod Mavi Royal Cyf. yn bwriadu gwneud cais am
Ganiatâd Cynllunio Llawn ar gyfer trosi ac ymestyn rhan o Westy I ffurfio
12 o fflatiau preswyl

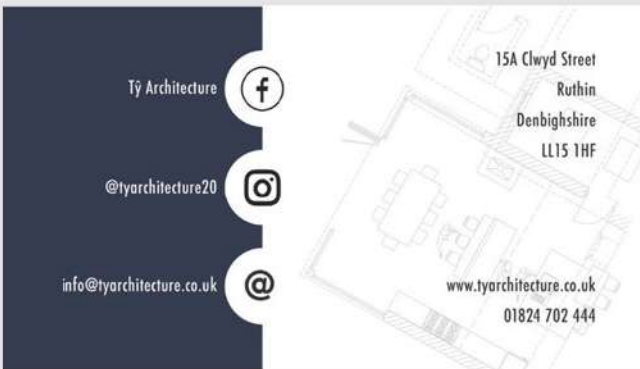
- Gwesty The Royal Hotel, Llangollen. LL20 8PG



Bydd y Datblygiad yn cynnig cymysgedd o:

6 Fflat gyda 1 llofft

6 Fflat gyda 2 llofft



Mae'r hysbysiad hwn yn rhoi cyfle i wneud sylwadau yn uniongyrchol i'r datblygwyr ynglŷn â'r datblygiad arfaethedig cyn cyflwyno cais am ganiatâd Cynllunio i Adran Cynllunio Sir Ddinbych. Bydd unrhyw gais Cynllunio dilynol yn cael ei hysbysebu gan yr ACLI perthnasol; ni fydd unrhyw sylwadau a ddarperir gennych wrth ymateb i'r hysbysiad hwn yn lleihau dim ar eich gallu i gyflwyno sylwadau i'r ACLI ar unrhyw gais Cynllunio cysylltiedig. Dylech nodi y gellir gosod unrhyw sylwadau a gyflwynir gennych yn y ffeil gyhoeddus.

Gallwch eu gweld ar-lein:

www.royalhotelllangollen.co.uk

Mae cyfleusterau cyfrifiadurol ar gael i weld yr wybodaeth hon yn:

Ty Architecture Cyf, 15a Clwyd Street, Ruthin. LL15 1HF

Os ydych angen copi ar e-bost neu ar bapur, cysylltwch â ni ar:

01824 702444 neu drwy e-bost i: info@tyarchitecture.co.uk



Proposed Ground Floor Plan

Mae'n rhaid i unrhyw un sy'n dymuno gwneud sylwadau ynglŷn â'r Datblygiad Arfaethedig hwn ysgrifennu atom os gwelwch yn dda:

Ty Architecture 15a Clwyd Street, Ruthin. LL15 1HF

Neu drwy e-bost i: info@tyarchitecture.co.uk

erbyn yr 10fed o Ebrill 2024



Proposed First Floor Plan

Bydd y prosiect yn cynnwys gwahanu'r hen estyniad o'r 1970'au a'l drosti i fflatiau a chadw y Gwesty gwreiddiol fel Gwesty, Bar a Bwty.

- APARTMENT COMMUNAL AREA
- PRIVATE 2 BED APARTMENTS
- PRIVATE 1 BED APARTMENTS



Proposed Front Elevation



Proposed Front Elevation



Ty Architecture

@tyarchitecture20

info@tyarchitecture.co.uk

15a Clwyd Street
Ruthin
Denbighshire
LL15 1HF

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01824 702 444

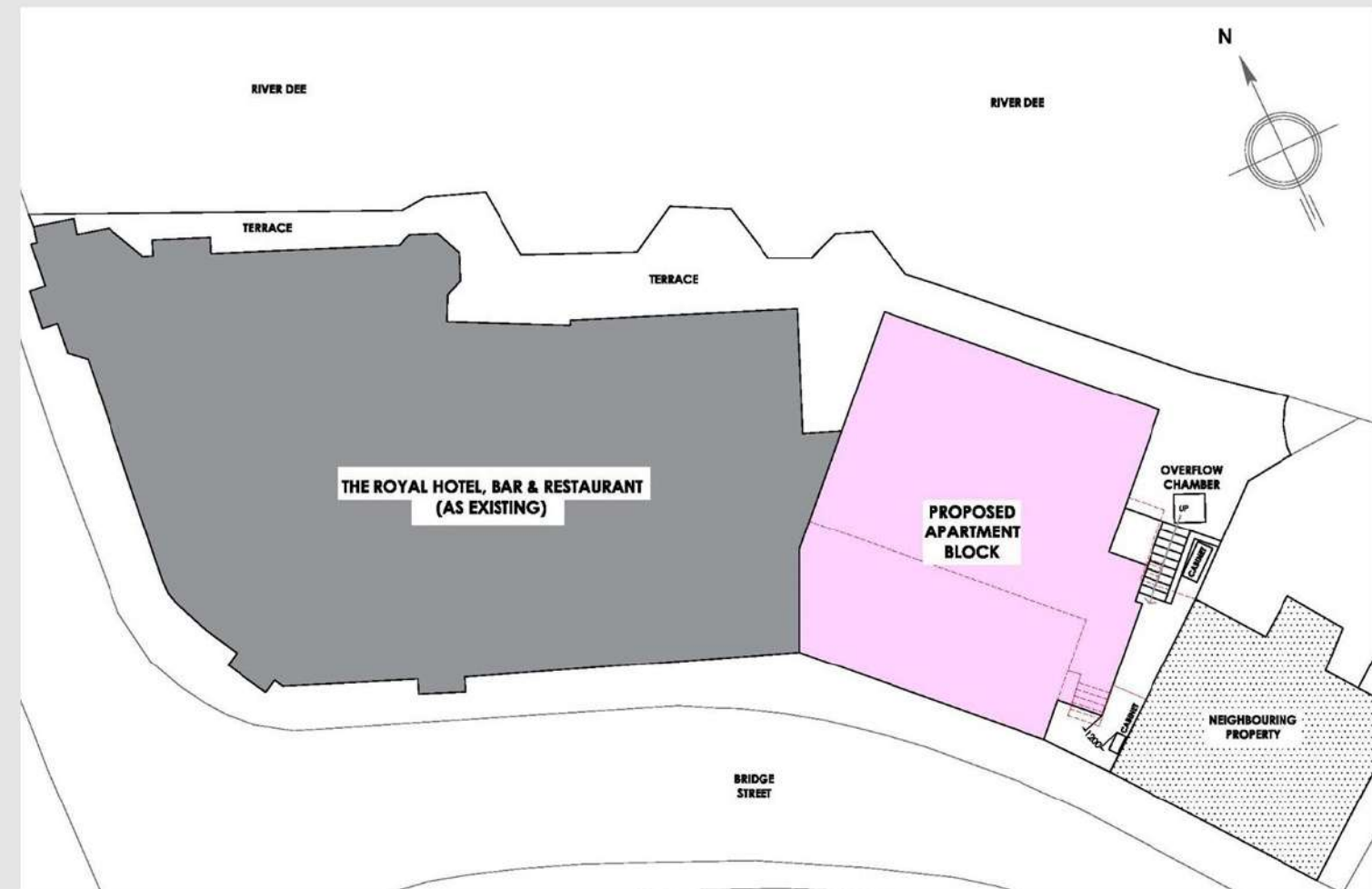
Full Planning Application for Conversion and Extension of part of Hotel to form 12 no. Residential Apartments - The Royal Hotel, Llangollen. LL20 8PG.

SCHEDULE 1B: PUBLICITY AND CONSULTATION BEFORE APPLYING FOR PLANNING PERMISSION
NOTICE UNDER ARTICLES 2C AND 2D
Town & Country Planning (Development Management Procedure) (Wales) Order 2012

Date: 13th March 2024



Notice is given that Mavi Royal Ltd. are intending to apply for Full Planning Application for Conversion and Extension of part of Hotel to form 12 no. Residential Apartments
- The Royal Hotel, Llangollen. LL20 8PG.



The development offers a mixture of :
6 no. 1 bedroomed Apartments
6 no. 2 bedroomed Apartments



This Notice gives the opportunity to comment directly to the Developers on the scheme prior to the formal submission of the Planning Application to Denbighshire County Council Planning Department. Any subsequent planning application will be publicised by the relevant LPA; any comments provided in response to this notice will not prejudice your ability to make representations to the LPA on any related planning application. You should note that any comments submitted may be placed on the public file.

you may also view online at:

www.royalhotelllangollen.co.uk

You may inspect paper copies of the proposals at:

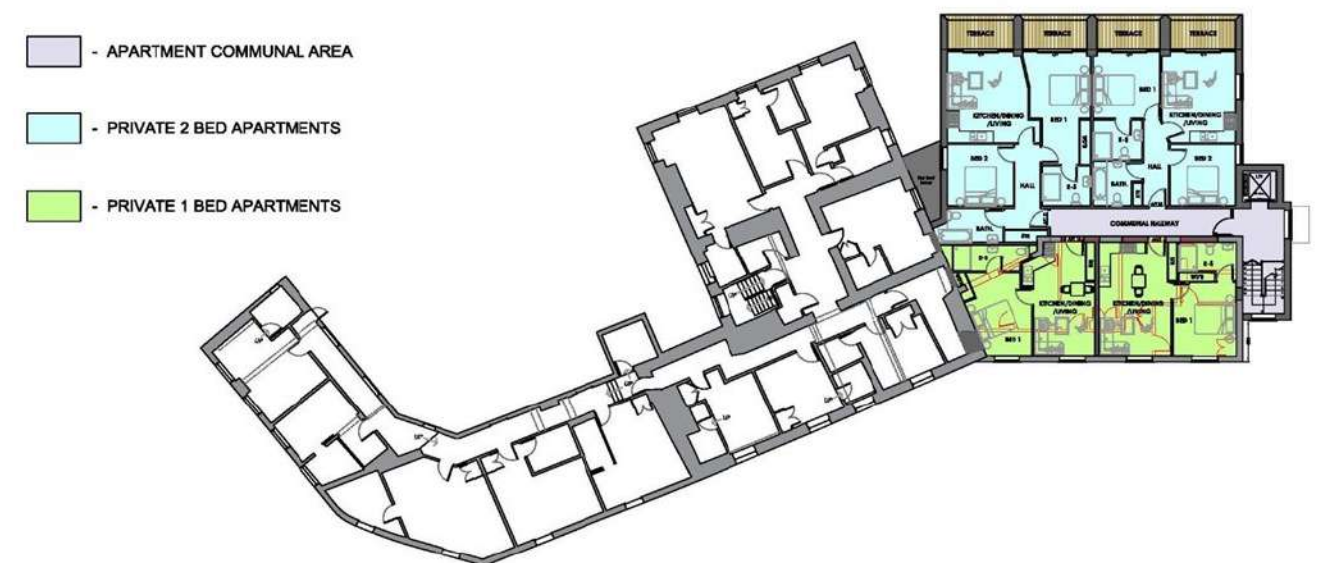
Tŷ Architecture Cyf, 15a Clwyd Street, Ruthin. LL15 1HF

If you require email copies of the documents, please contact us on:

01824 702444 or email info@tyarchitecture.co.uk

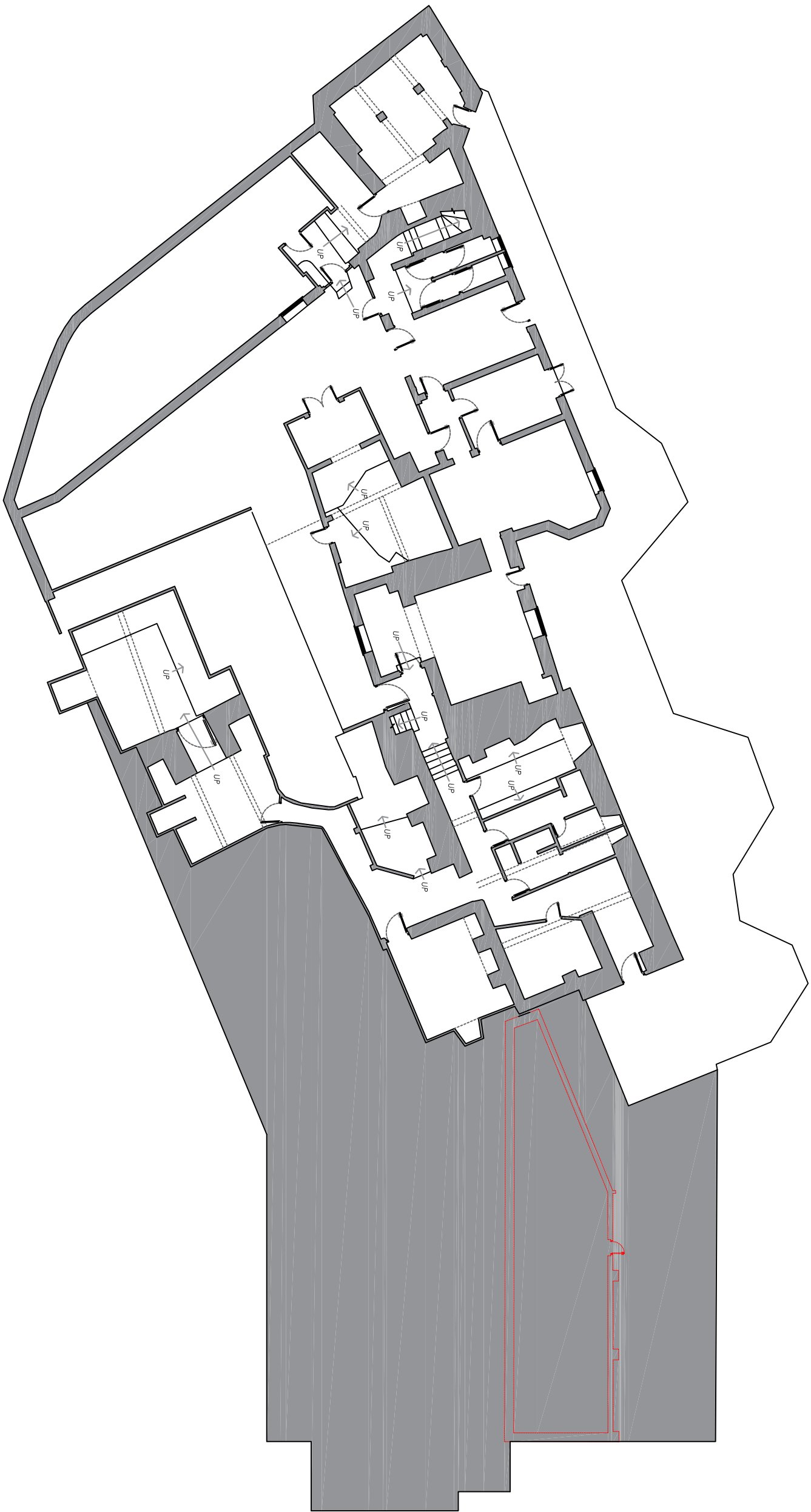


The project involves separating the 1970's extension into apartments and keeping the original Hotel as a Hotel, Bar and Restaurant.

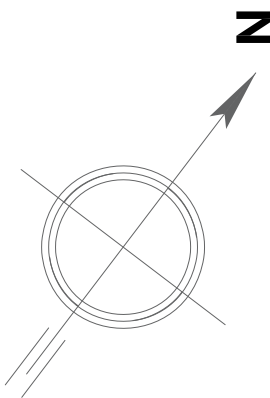


Anyone who wishes to make any comments about this proposed development must write to us at:
Tŷ Architecture 15a Clwyd Street, Ruthin. LL15 1HF
 or by email to info@tyarchitecture.co.uk
 by 10th April 2024.

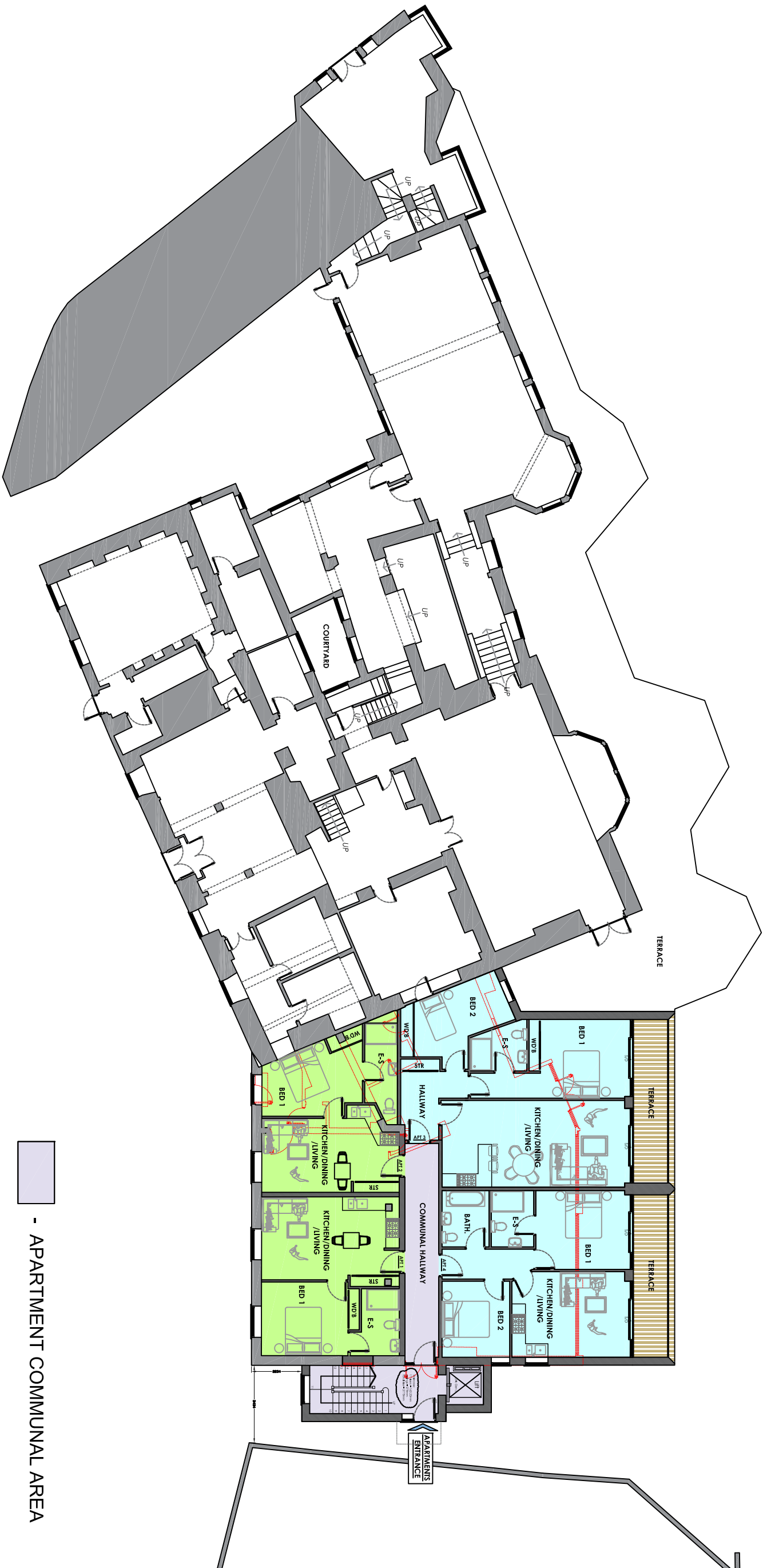




Proposed Basement Floor Plan (as existing)



| | |
|-------------------------------|---|
| Project | Proposed Conversion and Extension of Part of Hotel to Form 12 no. Residential Apartments - Planning Drawings |
| Address | The Royal Hotel, 7 Bridge Street, Llangollen, LL20 8PG |
| Client | Matt Jones |
| Scale | Scale 1:200 @A3 |
| Drawing:- Ty/1329/PL01 | |



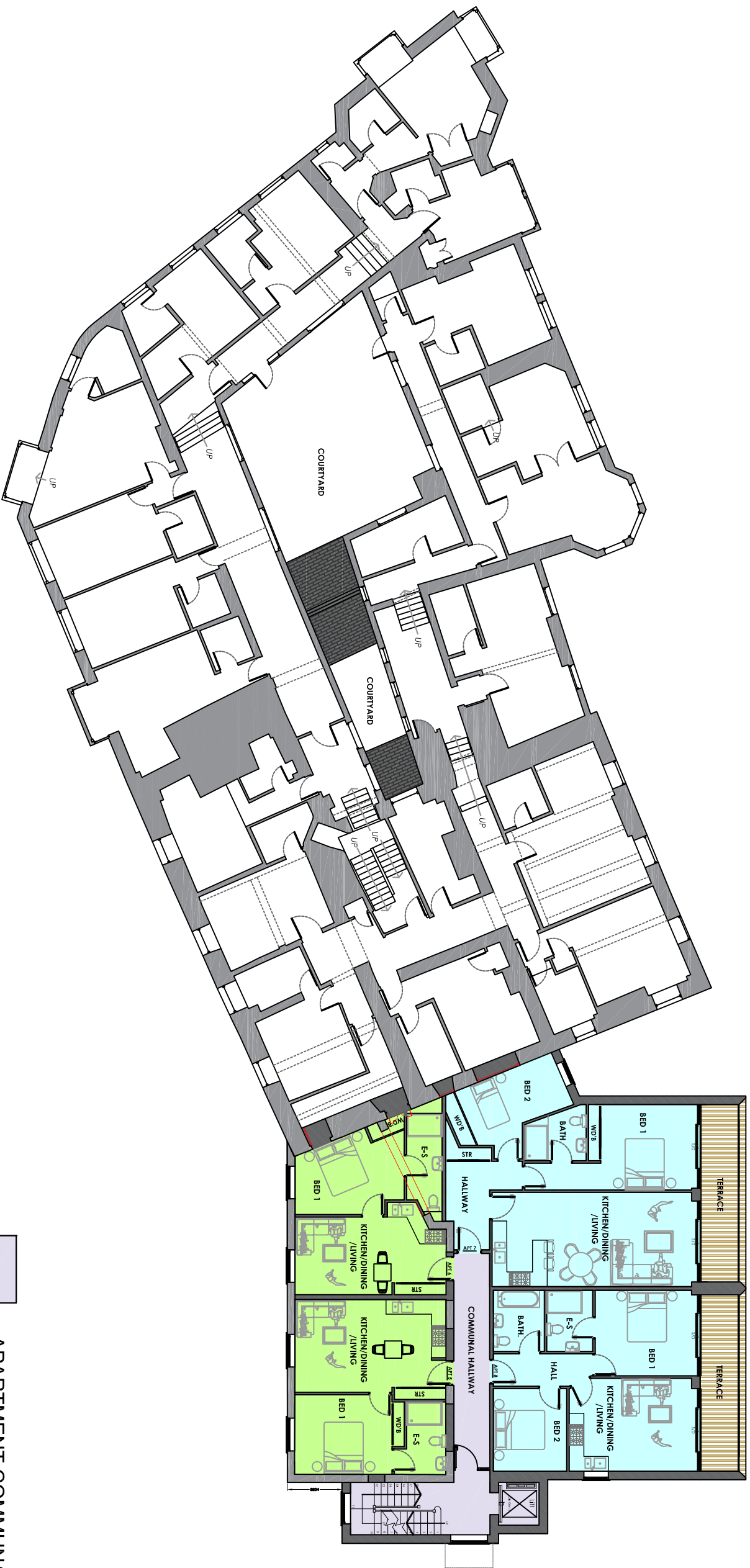
Proposed Ground Floor Plan

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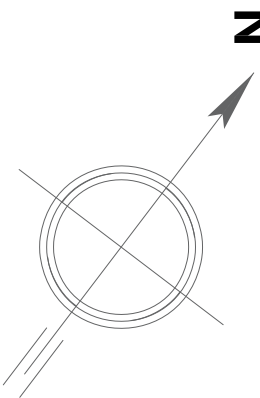
- APARTMENT COMMUNAL AREA

- PRIVATE 2 BED APARTMENTS

- PRIVATE 1 BED APARTMENTS



Proposed First Floor Plan



- APARTMENT COMMUNAL AREA
- PRIVATE 2 BED APARTMENTS
- PRIVATE 1 BED APARTMENTS



TY ARCHITECTURE

—CYF—

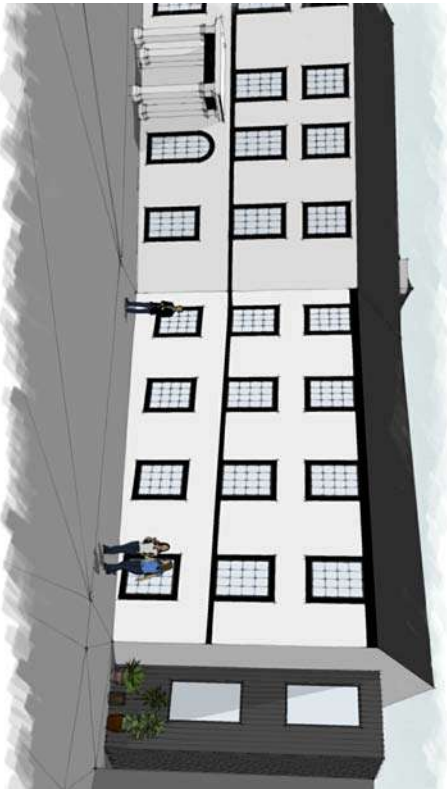
Project Proposed Conversion and Extension of Part of Hotel to Form 12 no. Residential Apartments - **Planning Drawings**
Address The Royal Hotel, 7 Bridge Street, Llangollen, LL20 8PG
Client Matt Jones
Scale Scale 1:200 @A3

Drawing:- Ty/1329/PL03

📞 Landline – 01824 702444
📱 Mobile – 07833340997
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📍 TY Architecture Cyf
15A Clwyd Street
Ruthin
Denbighshire
LL15 1HF

- APARTMENT COMMUNAL AREA
- PRIVATE 2 BED APARTMENTS
- PRIVATE 1 BED APARTMENTS



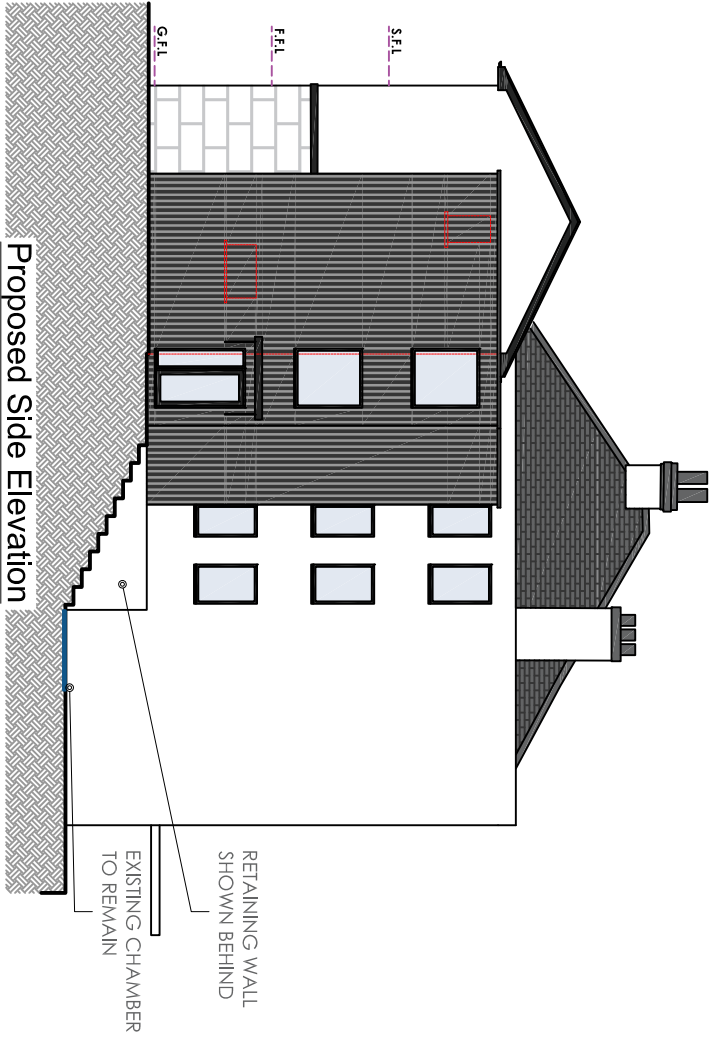
Proposed Front Elevation



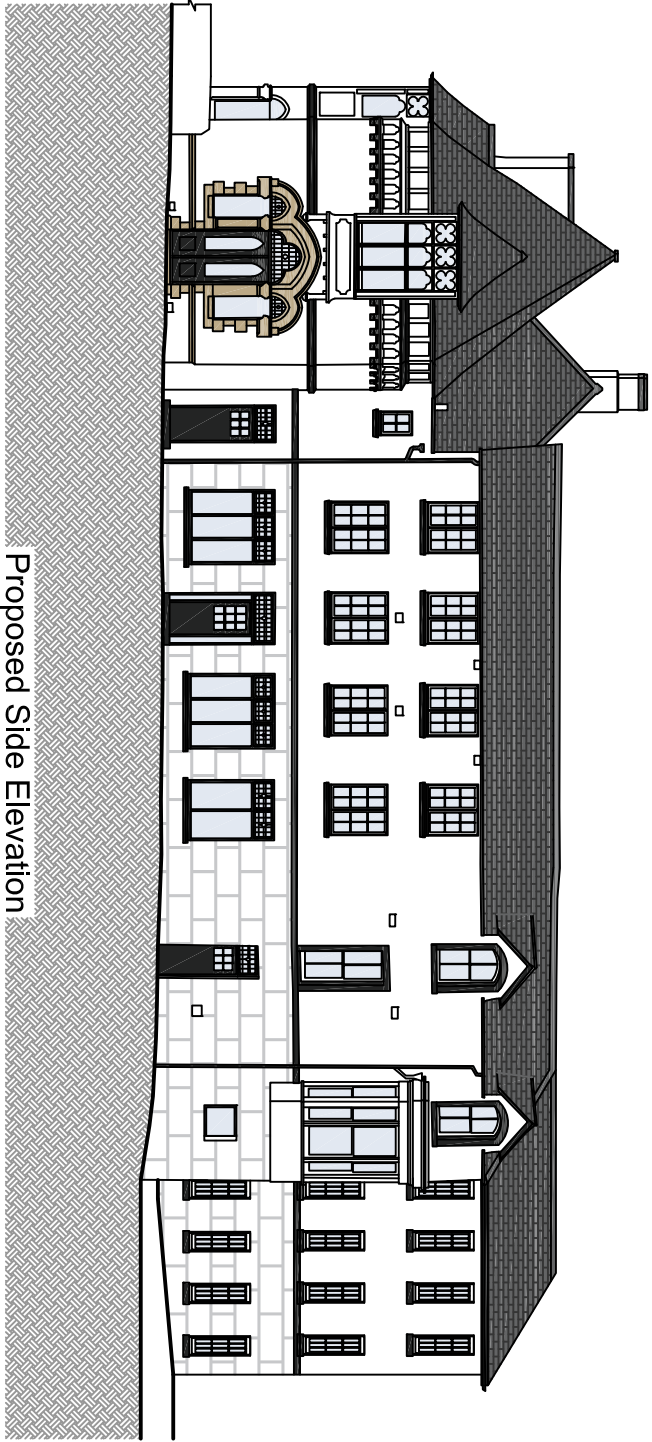
Proposed Front Elevation



Proposed Rear Elevation



Proposed Side Elevation



Proposed Side Elevation

EXTERNAL FINISHES

External Walls - Render finish to match existing & Vertical timber cladding

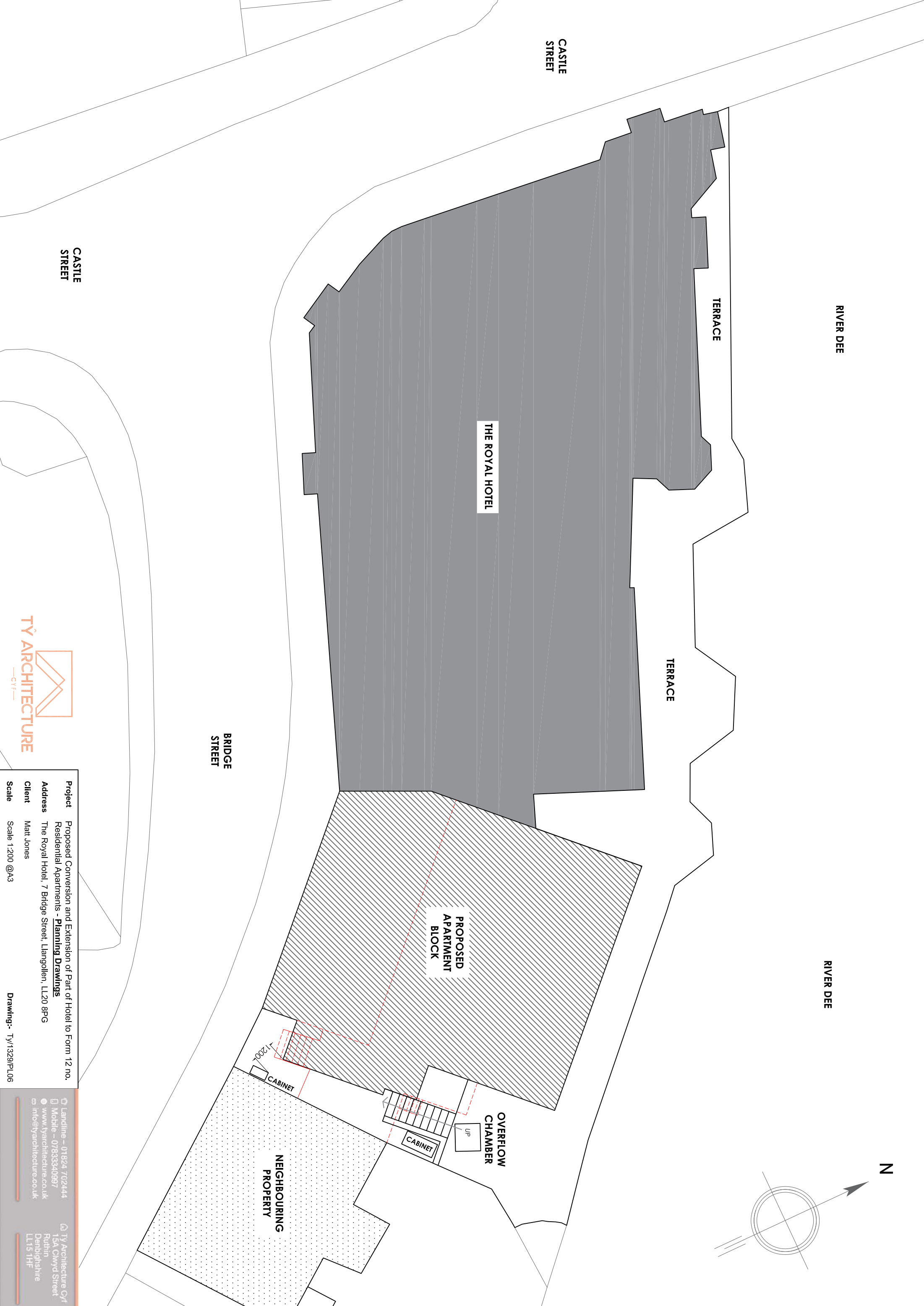
Roof - Natural slate to match existing & Single ply polymeric membrane to flat roof

Windows & Doors - Grey Aluminium/Composite double glazed

Rainwater Goods/pipework - Black upvc to match existing

Timber Work - Painted timber (Black) to match existing

Balustrades - Stainless steel with glass



CASTLE STREET

CASTLE STREET

TERRACE

RIVER DEE

THE ROYAL HOTEL

TERRACE

RIVER DEE

BRIDGE STREET

PROPOSED APARTMENT BLOCK

OVERFLOW CHAMBER

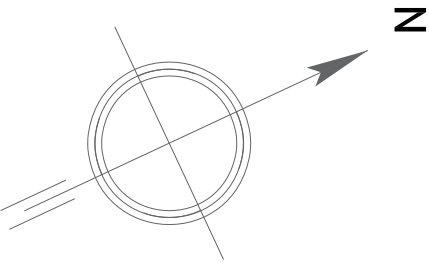
UP

CABINET

NEIGHBOURING PROPERTY

CABINET

1200



TY ARCHITECTURE

—CYF—

Project Proposed Conversion and Extension of Part of Hotel to Form 12 no. Residential Apartments - **Planning Drawings**

Address The Royal Hotel, 7 Bridge Street, Llangollen, LL20 8PG

Client Matt Jones

Scale Scale 1:200 @A3

Drawing:- TY/1329/PL06

📞 Landline – 01824 702444

📱 Mobile – 07833340997

🌐 www.tyarchitecture.co.uk

✉ info@tyarchitecture.co.uk

📍 Ty Architecture Cyf

15A Clwyd Street

Ruthin

Denbighshire

LL15 1HF



Proposed Rear Elevation



Proposed Rear Elevation



Proposed Rear Elevation



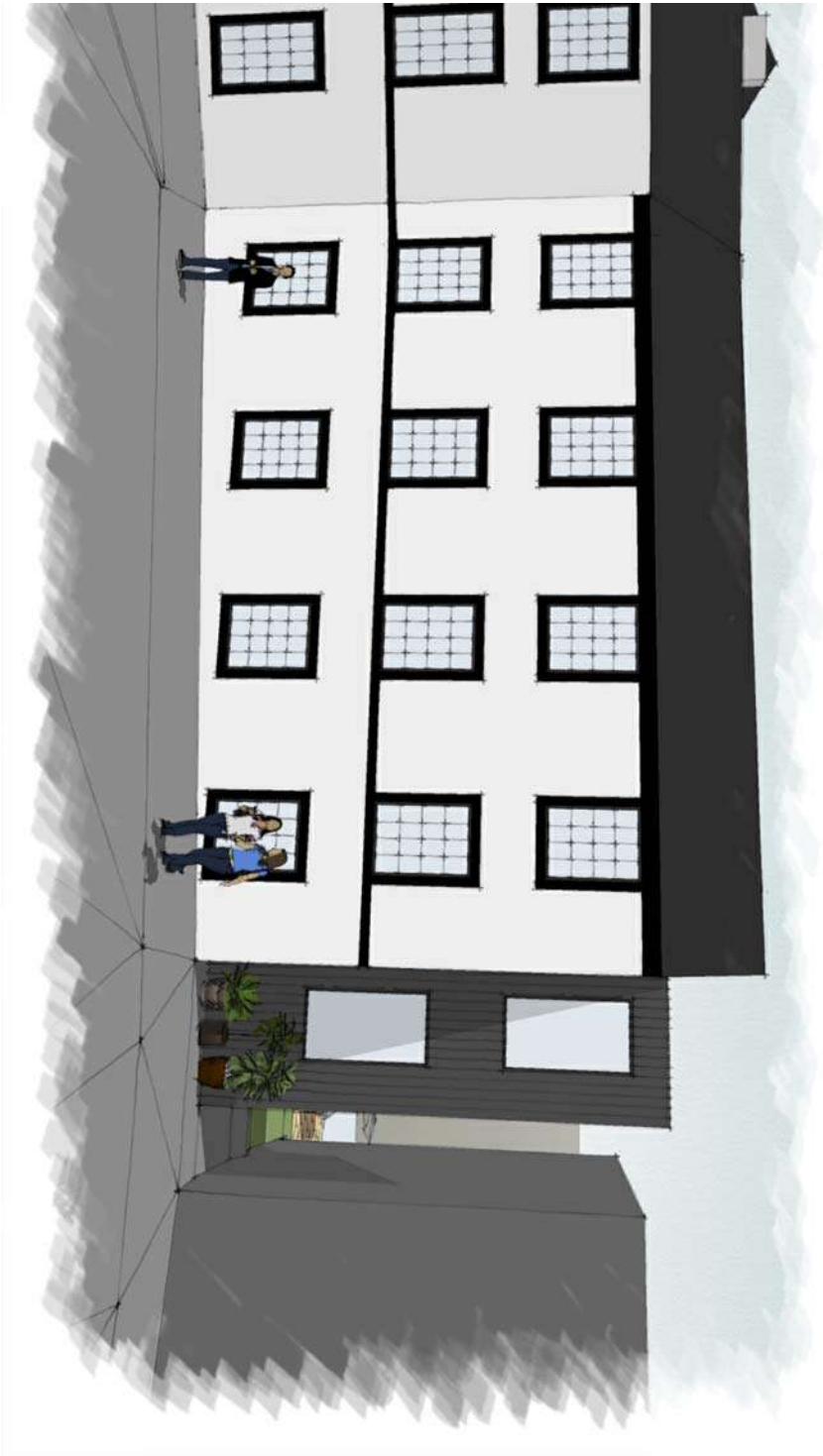
Proposed Rear Elevation



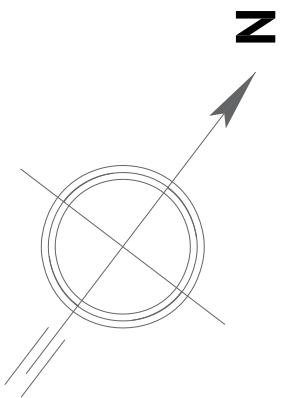
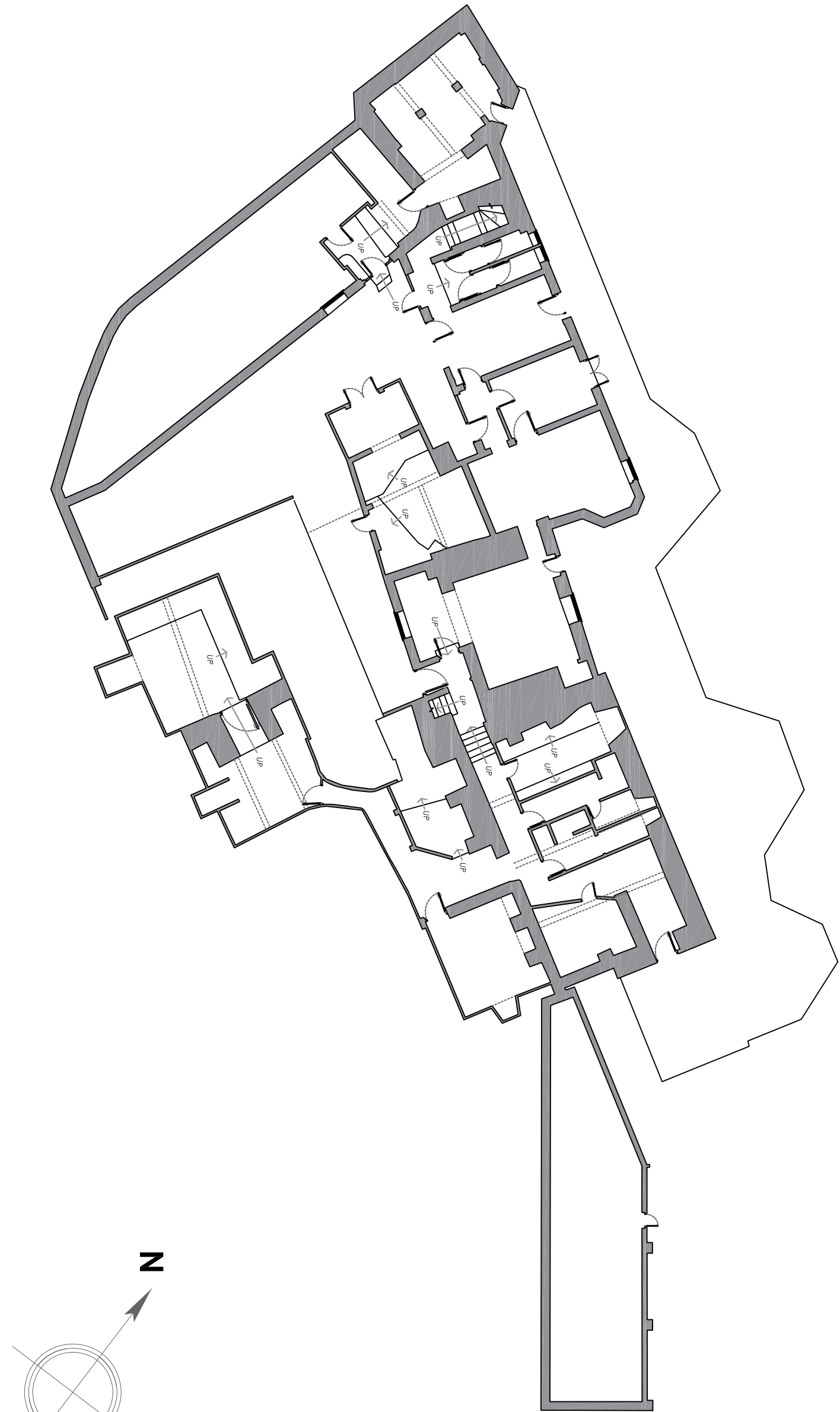
Proposed Rear Elevation



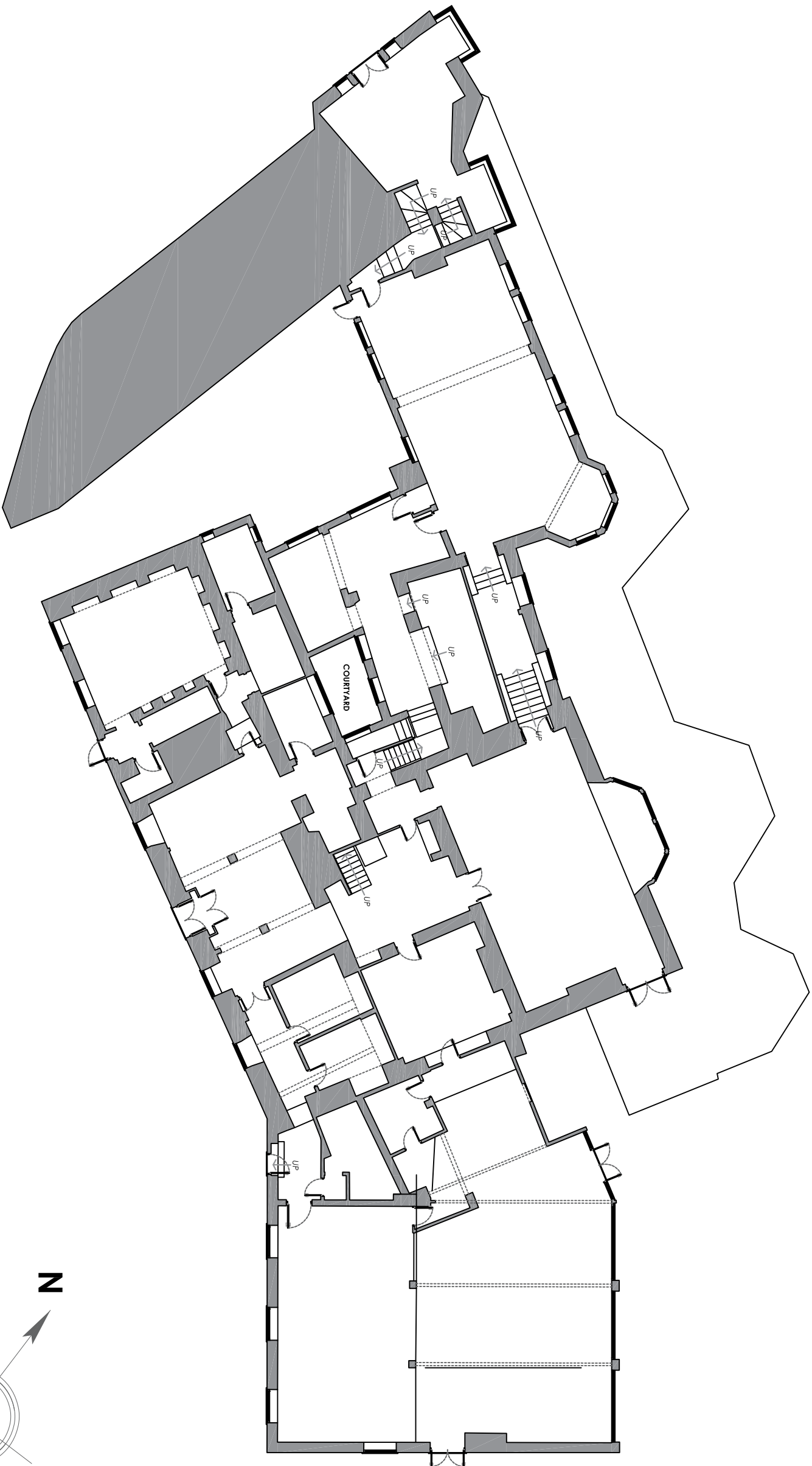
Proposed Rear Elevation



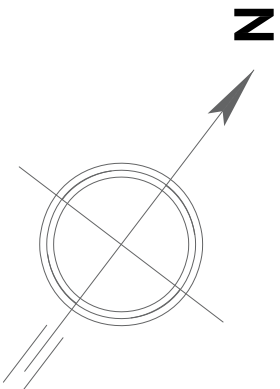
Proposed Front Elevation

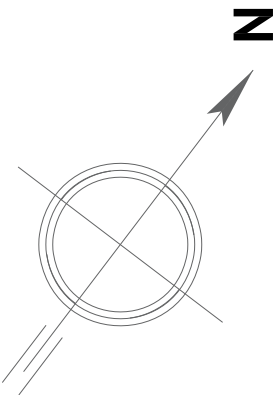


Existing Basement Floor Plan

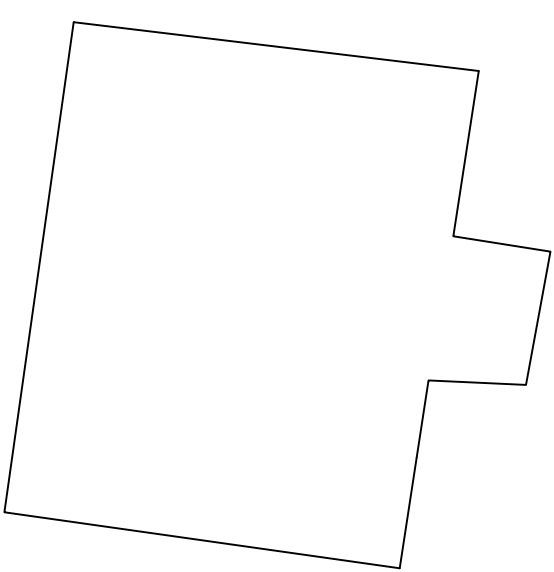
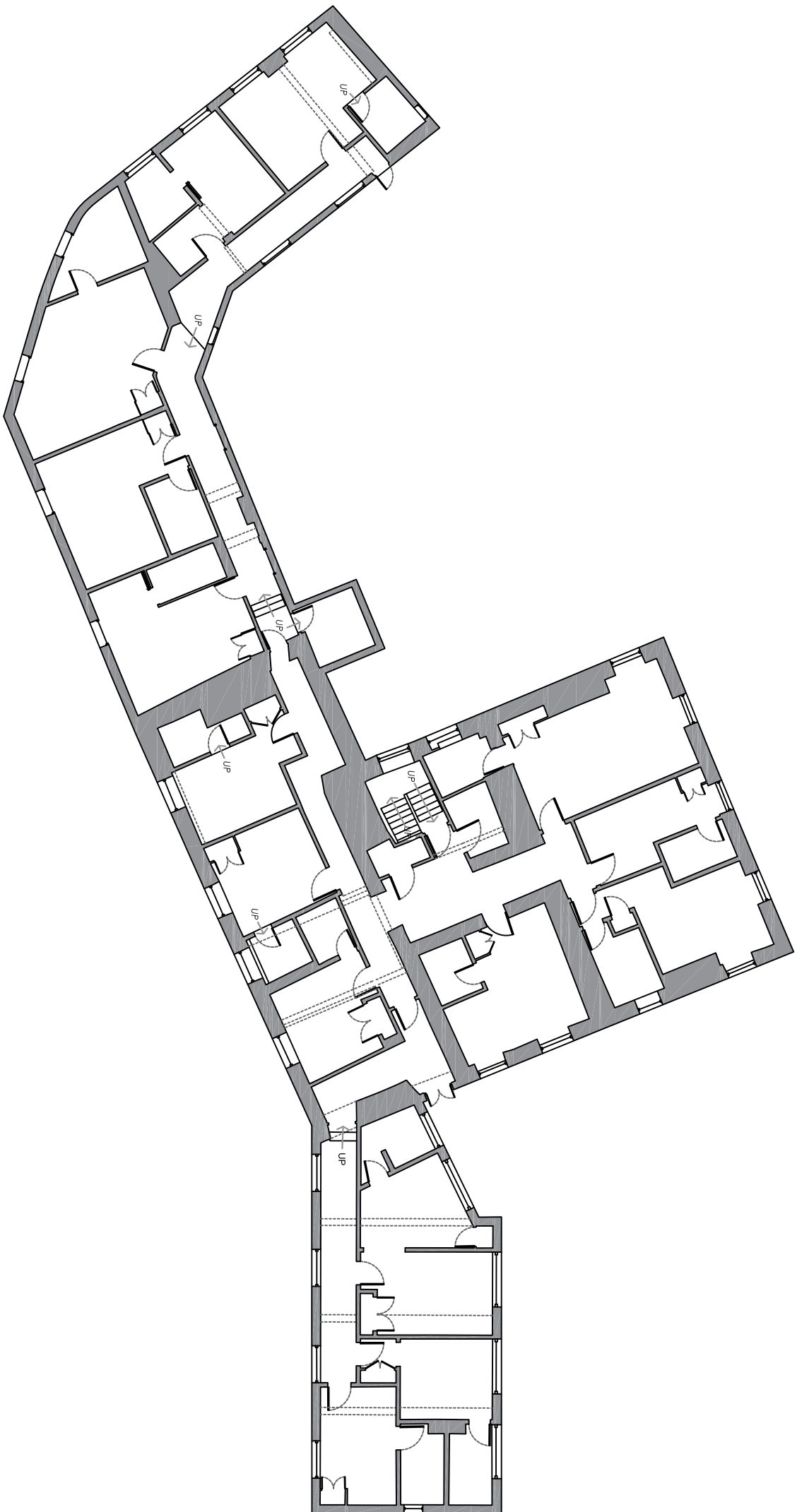


Existing Ground Floor Plan

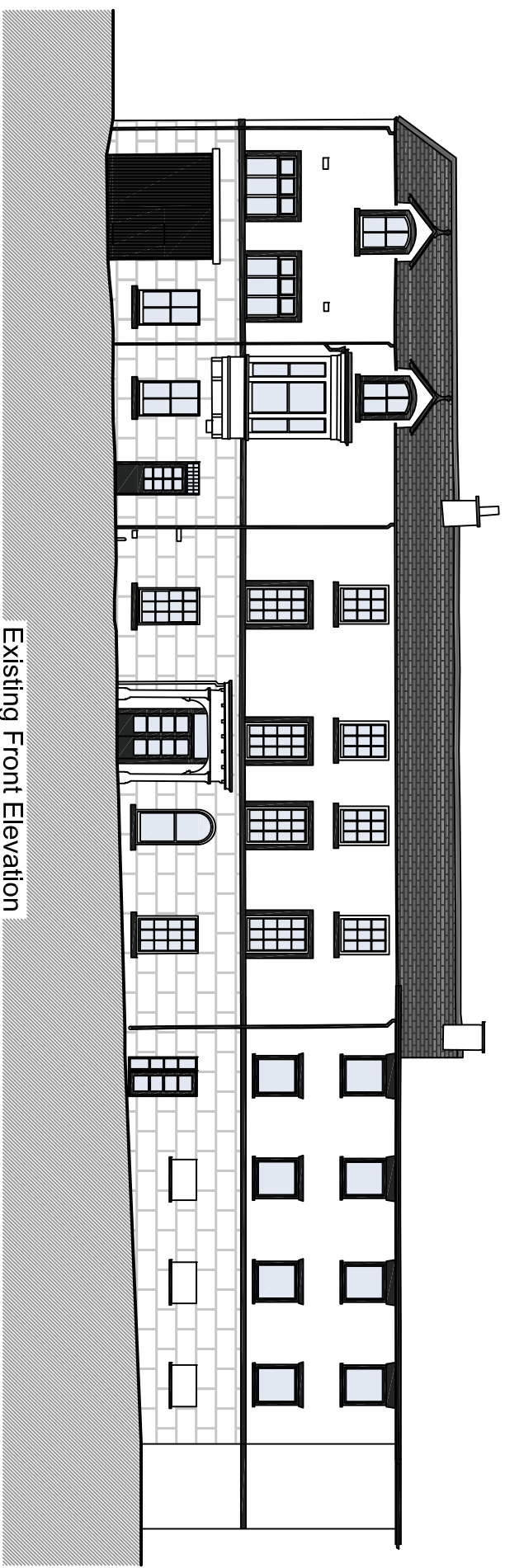
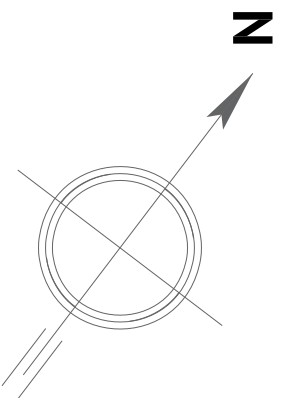




Existing First Floor Plan



Existing Second Floor Plan



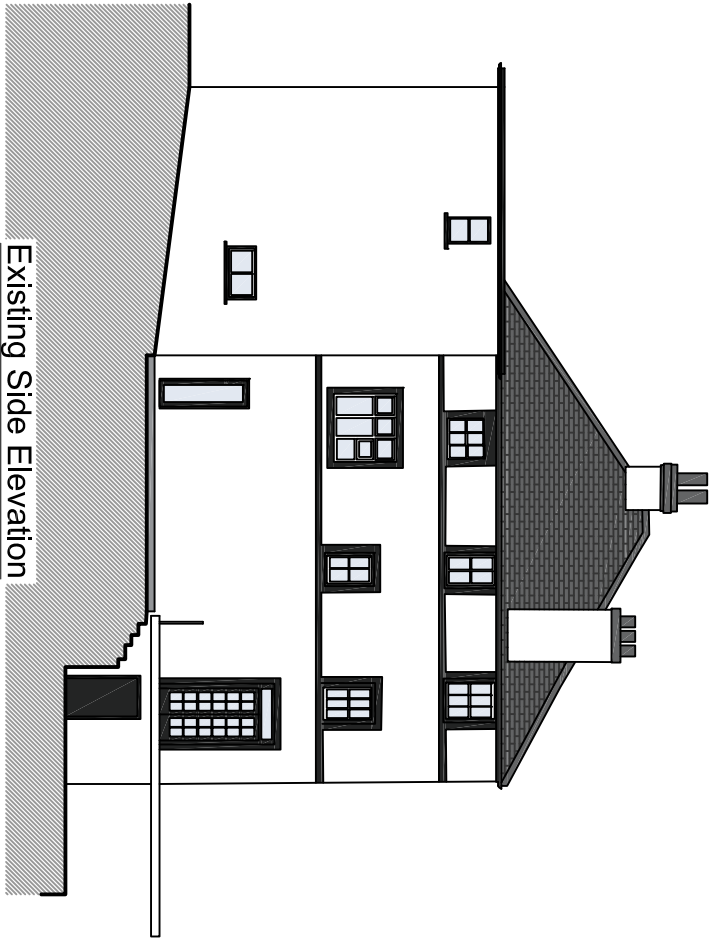
Existing Front Elevation



Existing Rear Elevation



Existing Side Elevation



Existing Side Elevation

N

RIVER DEE

RIVER DEE

TERRACE

TERRACE

CASTLE STREET

THE ROYAL HOTEL

CONCRETE SLAB

OVERFLOW CHAMBER

CABINET

UP

UP

CABINET

NEIGHBOURING PROPERTY

BRIDGE STREET

CASTLE STREET



TY ARCHITECTURE
—CYF—

Project Proposed Conversion and Extension of Part of Hotel to Form 12 no. Residential Apartments - **Existing Drawings**

Address The Royal Hotel, 7 Bridge Street, Llangollen, LL20 8PG

Client Matt Jones

Scale Scale 1:200 @A3

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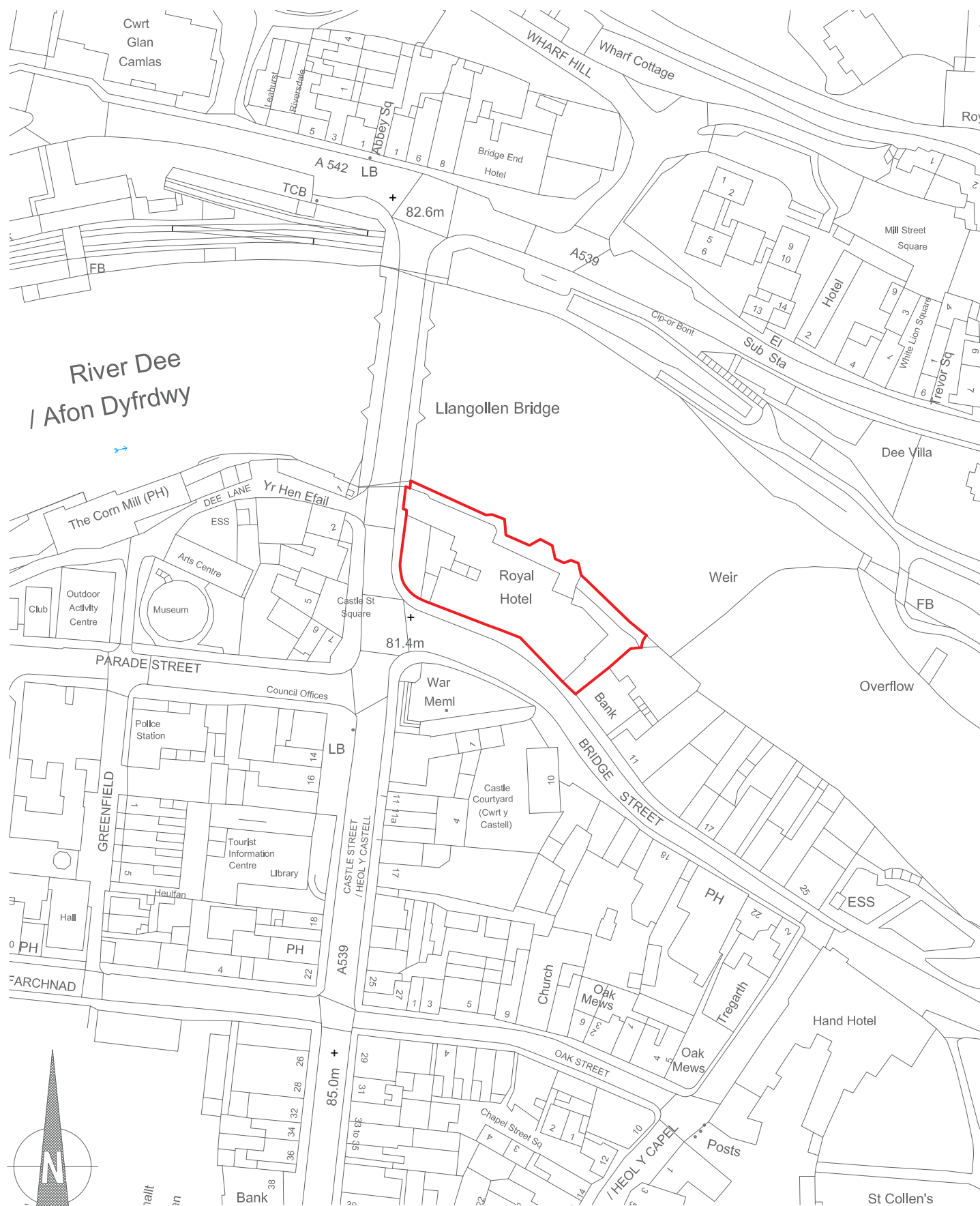
📍 TY Architecture Cyf

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Ruthin

Denbighshire

LL15 1HF



LOCATION PLAN

Project Proposed Conversion and Extension of Part of Hotel to Form 12no. Residential Apartments - **Existing Drawings**

Address The Royal Hotel, 7 Bridge Street, Llangollen, LL20 8PG

Client Matt Jones

Scale 1:1250 @ A4

Drawing:- TY/1329/SU07

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